

**KEY PLAN**

**LEGAL DESCRIPTION:**  
LOTS 5 AND 41, REGISTERED PLAN 12281  
CITY OF OTTAWA PIN NUMBER 04119-0013, -0014, -0015, -0016  
MUNICIPAL ADDRESS 234-236 O'Connor Street + 311 Somerset Street West, Ottawa

**SITE INFORMATION**  
LOT AREA: 1372.3 m<sup>2</sup> (14771.8 sq ft)  
LOT FRONTAGE: 30.09 m (98.7 ft)  
LOT DEPTH: 45 m (147.2 ft)

OFFICIAL PLAN DESIGNATION: GENERAL URBAN AREA, TRADITIONAL MAINSTREET

**SCHEDULE 1A:** AREA Y  
**ZONING:** TRADITIONAL MAINSTREET ZONE TM(2185)  
**ABUTTING ZONES:** NORTH (COOPER ST): R5B (482) F(3.0)  
SOUTH (SOMERSET STREET): TM (2185) H(19)  
WEST: TM(2185) H(18)  
EAST: TM(2185) H(14.5)

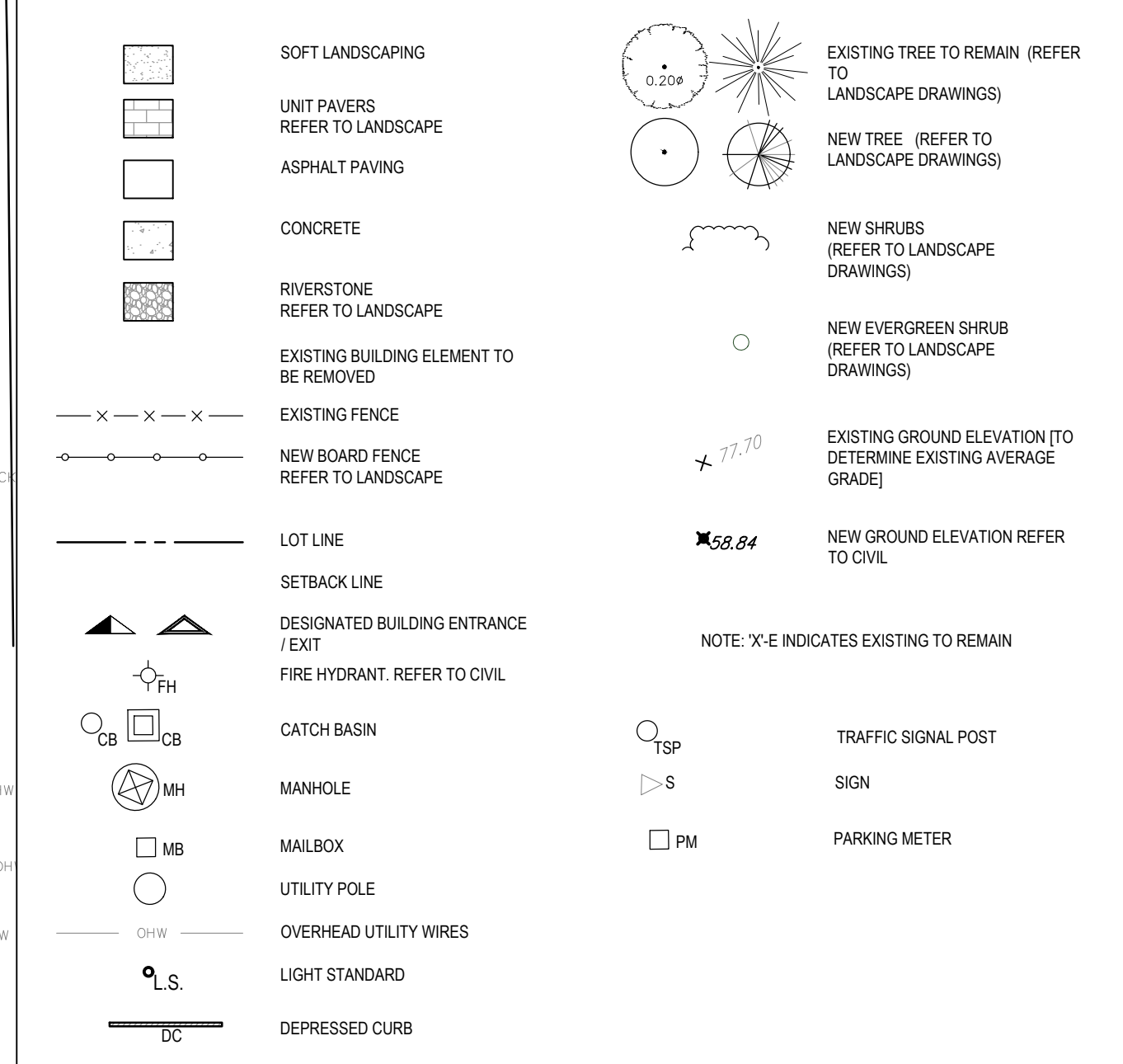
**BUILDING INFORMATION**  
FLOOR AREA: 1034 m<sup>2</sup> (11,130 sq ft)  
GROSS AREA: 11,693 m<sup>2</sup> (125,862 sq ft)  
PROPOSED USE: MIXED-USE APARTMENT DWELLING, HIGH RISE

**UNIT BREAKDOWN:**  
LEVEL 2: 9 UNITS  
LEVELS 3-4: 11 UNITS EA. (22)  
LEVELS 5: 5 UNITS  
LEVELS 6-18: 8 UNITS EA. (104)  
**TOTAL: 140 UNITS**

GROUND FLOOR COMMERCIAL: COMMERCIAL A: 197 m<sup>2</sup> (2,129 sq ft)

ZONING TABLE	TM(2185) REQUIRED	PROPOSED
MINIMUM LOT AREA	NO MINIMUM (ZONING)	N/A
MINIMUM LOT WIDTH	NO MINIMUM	N/A
FRONT YARD SETBACK	MINIMUM: 0m MAXIMUM: 2m MAX AT GRADE ADDITIONAL: 2m ABOVE: 15m+4-STOREYS	2.58 m (GROUND FLOOR) 9.98 m (LEVEL 5-18)
SETBACK FROM HYDRO UTILITIES	POLE: 6m	5.0m FROM SURVEYED HYDRO LINE RESULTING IN 3.455m SETBACK FROM PROPERTY LINE (LEVEL 2-4)
INTERIOR SIDE YARD SETBACK	3m MAX. (RSB = WITHIN 5m : 1.5m BEYOND 21m : 6m)	WEST: 1.4 m (LEVEL 1-4) 5 m (LEVEL 5-18)
REAR YARD SETBACK	7.5m MIN.	6.7 m (GROUND FLOOR) 4.8 m (LEVEL 2-4) 6.4 m (LEVEL 5-18)
BUILDING HEIGHT	MINIMUM PERMITTED HEIGHT IS 6.7M FOR 20M BACK FROM THE FRONT LOT LINE. MAXIMUM: 20m (6 STOREYS) (RSB = 4 (37m)) (CENTRETOWN SECONDARY PLAN = 9 to 16 STOREYS)	GF: 5.5m BUILDING HEIGHT: 58.2 m
GROUND FLOOR HEIGHT/GLAZING	MINIMUM OF 50% OF THE SURFACE AREA OF THE GROUND FLOOR FACADE, MEASURED FROM AVERAGE GRADE TO A HEIGHT OF 4.5m	ALONG SOMERSET ST. W: 53% ALONG O'CONNOR ST.: 56%
LANDSCAPED AREA	3m ABUTTING RESIDENTIAL ZONE REDUCED TO 1m WITH 1.4m HIGH FENCE	NORTH PROPERTY: 0m WITH 2.133m HIGH FENCE WEST PROPERTY: 1.6m TO 2m WITH 2.133m HIGH FENCE
MAX. FLOOR SPACE INDEX	NO MAX.	N/A
VEHICLE PARKING REQUIREMENTS (AREA Y: INNER URBAN, SCHEDULE 1A)	RESIDENTIAL: 0.5 UNIT AFTER FIRST 12 UNITS RES. VISITOR: 0.1 UNIT AFTER FIRST 12 UNITS NON-RESIDENTIAL 0 WITH GFA 200 m <sup>2</sup> OR LESS	RESIDENTIAL PROVIDED: (52 SPACES) VISITOR PROVIDED: (13 SPACES) TOTAL PARKING PROVIDED: (65 SPACES)
AMENITY AREA REQUIREMENTS	6 m <sup>2</sup> PER DWELLING UNIT. MIN 50% OF THE REQUIRED TOTAL AMENITY AREA TO BE COMMUNAL AND AT LEAST ONE AREA OF MIN. 54 m <sup>2</sup> TOTAL AMENITY REQUIRED: (840 m <sup>2</sup> ) 50% COMMUNAL REQUIRED: (420 m <sup>2</sup> )	TOTAL AMENITY PROVIDED: (1,205 m <sup>2</sup> ) TOTAL COMMUNAL PROVIDED: (723 m <sup>2</sup> ) BALCONIES (Total 481.5 m <sup>2</sup> ) LVL 2: 31 m <sup>2</sup> LVL 3: 45 m <sup>2</sup> LVL 4: 9 m <sup>2</sup> LVL 5: 9.5 m <sup>2</sup> LVL 6-18: 387 m <sup>2</sup> COMMUNAL (Total 723 m <sup>2</sup> ) LVL 1: 213 m <sup>2</sup> LVL 2: 118 m <sup>2</sup> LVL 5: 174 m <sup>2</sup> ROOF TERRACE: 218 m <sup>2</sup>
BICYCLE PARKING SPACES	0.5 PER DWELLING UNIT (70 SPACES)	TOTAL PROVIDED: (110 SPACES)

**LEGEND**



No.	Date	Empr./Objet
1	2020-10-02	FOR CLIENT REVIEW
2	2020-11-05	FOR COORD
3	2020-11-20	FOR COORD
4	2020-12-11	FOR COORD
5	2021-01-18	FOR COORD
6	2021-02-08	FOR COORD
7	2021-02-16	FOR COORD
8	2021-02-18	ISSUED FOR SITE PLAN CONTROL
9	2021-10-08	SITE PLAN CONTROL RESPONSE
10	2022-01-20	SITE PLAN CONTROL RESPONSE
11	2022-02-28	SITE PLAN CONTROL RESPONSE
12	2022-03-29	SITE PLAN CONTROL RESPONSE

Ingenieur / Engineer  
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer  
(Structure / Structure)

Architecte / Architect  
(paysagiste / Landscape)

**Gino J. Aiello landscape architect**  
www.GJALA.com  
110 Dabney Road Unit #9 | Ottawa, Ontario | K2T2C2

Ingenieur / Engineer  
(Civil / Civil)

**MINTOSH PERRY**  
Consulting Engineers Ltd.

Client / Client

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Scale / Échelle

**OTTAWA ASSOCIATION OF ARCHITECTS**  
ROBERTO CAMPOS  
LICENCE 7401

Project / Projet

**EIGHTEEN STOREY APARTMENT BUILDING**

234-236 O'CONNOR STREET  
OTTAWA, ON

Drawn by / Dessiné par: RD, MD  
No. projet / Project number: 1954

Verified by / Vérifié par: RC  
No. dessin / Drawing number: 1954

Scale / Échelle: AS SHOWN

Date de création du dessin / Drawing creation date: 2020/09/XX

**A010**