



PROPOSED ADDITION BEHIND EXISTING SCHOOL - VIEWED FROM BUENA VISTA RD.



PROPOSED MAIN ENTRY



PROPOSED REAR FACADE - VIEWED FROM NORTH



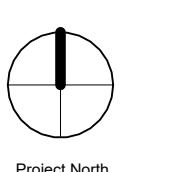
PROPOSED MAIN ENTRY - VIEWED FROM WEST



PROPOSED REAR FACADE - VIEWED FROM NORTH EAST



PROPOSED REAR FACADE - VIEWED FROM NORTH WEST



The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN (Building Code Designation Number).

Farrow

44K1T1
Ontario Association of Architects COP #5388

 **ELMWOOD**

ELMWOOD SENIOR SCHOOL ADDITION

261 Buena Vista Rd. - Ottawa, ON - K1M 0V9

Scale at Arch E
FARROW PARTNERS Yazmin Enriquez
Reviewed by Christopher Blackwell

Drawing title

11



PROPOSED FLEXIBLE GYMNASIUM LOOKING NORTH



PROPOSED FLEXIBLE GYMNASIUM LOOKING WEST



PROPOSED FLEXIBLE PERFORMANCE SPACE LOOKING NORTH



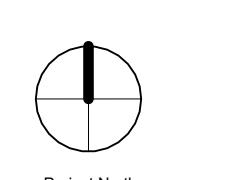
PROPOSED FLEXIBLE PERFORMANCE SPACE LOCKING SCHEME



PROPOSED FLEXIBLE FITNESS STUDIO SPACE CONNECTING TO EXISTING GYMNASIUM



PROPOSED LOUNGE SPACE DURING THE WINTER



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ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 Buena Vista Rd. - Ottawa, ON - K1M 0V9

9114

FARROW PARTNERS	Yazmin Enriquez
Reviewed by	Christopher Blackwell

Drawing title

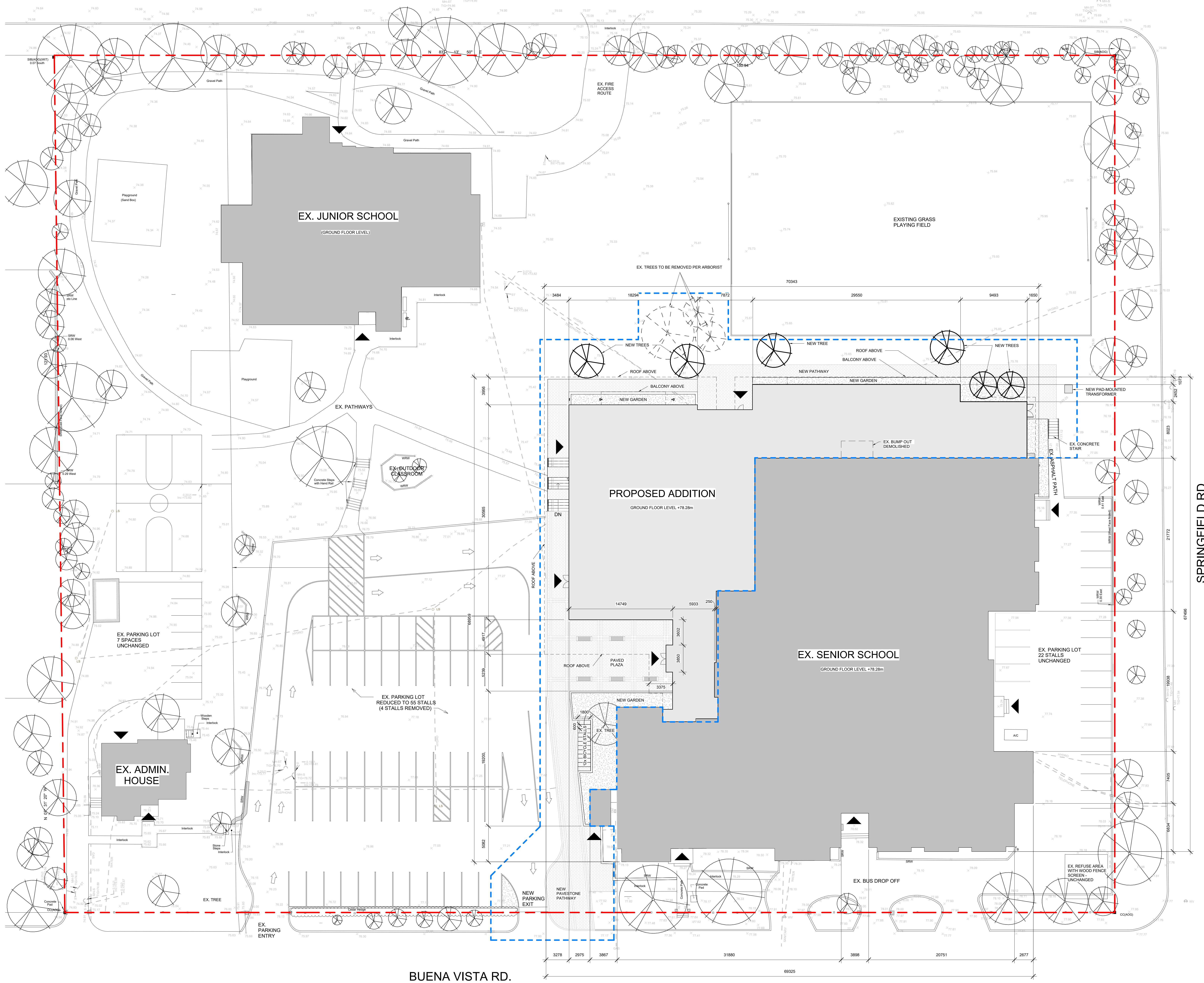
INTERIOR RENDERINGS

Sheet no. _____

A004

A004

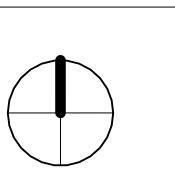
HILLCREST RD.



Site Plan
1 : 200

ZONING COMPLIANCE CHART

A. Project Information	
Review Date:	17-Nov-25
Official Plan:	Special Use
Municipal Address:	261 Buena Vista Dr.
Legal Description:	Parcel 01.1, Section A4-55; Block A4-55, Part of Block A4, on Plan A4-22 (2022-12191)
Scope of Work:	The proposal includes a new entrance lobby, reception, and lounge adjacent to the existing Buena Vista Road height-governed building, a feasibility study and four new classrooms all overlooking the existing playing field to the rear.
Existing Zoning Code:	IUA
By-law Number:	2008-250
Schedule 3 & A Area:	Area C / Annex X, Inner Urban Conservation District
Applicable:	Rockcliffe Park Heritage Conservation District
B. Zoning Review	
Zoning Provision:	By-law requirement or applicable zoning exception, or Schedule Reference
Principal Land Use:	School
Lot Width:	15m
Lot Depth:	40.00m ²
Front Yard Set Back:	8.0m (Buena Vista)
Corner Side Yard Setback:	4.5m (Springfield)
Interior Side Yard Setback:	7.5m (Springfield)
Rear Yard Setback:	7.5m (Hilcrest Road)
Lot Coverage F.S.L.:	30%
Building Footprint:	27%
Accessory Buildings Section 55:	N/A
Projections into Height Limit Section 44:	N/A
Projections into Height Limit and Section 65:	N/A
Required Parking Spaces:	145.0 m ² per classroom room, 100 m ² per teacher's room, 100 m ² per staff room, 100 m ² per bus drop-off, 100 m ² per bicycle parking stall (4 existing stalls removed)
Visitor Parking Spaces Section 302:	N/A
Site of Space Section 100 and 106:	N/A
Driveway Width:	N/A
Alleyway:	Section 107
Section 107:	N/A
Location:	Parking Section 109
Refuse Collection Section 120:	Section 120 (3)(a)(B)(c) Existing Refuse (N/A see comment C)
Bicycle Parking Rules Section 111:	Table 111A. (d) school 1 per 100 m ² gross floor area 12 Bicycle Stalls existing (N/A see comment D)
Amenity Space:	Not required N/A
C. Comments & Calculations	
All Lots in Lot Coverage F.S.L. Calculation:	EXISTING HEADS HOUSE FOOTPRINT 120 m ² EXISTING GARAGE FOOTPRINT 23 m ² PROPOSED ADDITION FOOTPRINT 1312.5 m ² TOTAL NEW FOOTPRINT 880 m ² + 122 + 2753 + 1230 = 5053.5 m ² MAXIMUM LOT COVERAGE 30% = 1516.05 m ² PROPOSED LOT COVERAGE 29% = 1465.65 m ² AVAILABLE LOT COVERAGE 30% = 1516.05 m ²
BL Lots in Required Parking Spaces Calculation:	37.74 m ² Classroom = 30 30 Parking Stalls Required
(C) Refuse Collection Section 110: Comment:	Comments: Existing refuse area is ideally situated and easily sheltered from view by both a wood screen enclosure more than 2m in height and by ample planting. Enclosed refuse area is located in the rear of the building, away from the architectural presence of both the existing heritage school and the new addition.
(D) New to Bicycle Parking Spaces Calculation:	Proposed Senior School GFA = 8900.50m ² 8900.50m ² / 100m ² = 89.05 70 Bicycle Stalls Required
Comments: The proposed addition are not intended to facilitate increased enrollment or staffing of the school and so increased bicycle parking capacity is not required.	



The architect noted above has exercised responsible control with respect to design and preparation of this drawing to the Building Code Designation Number

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Trenton, ON K0J 1L0
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ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

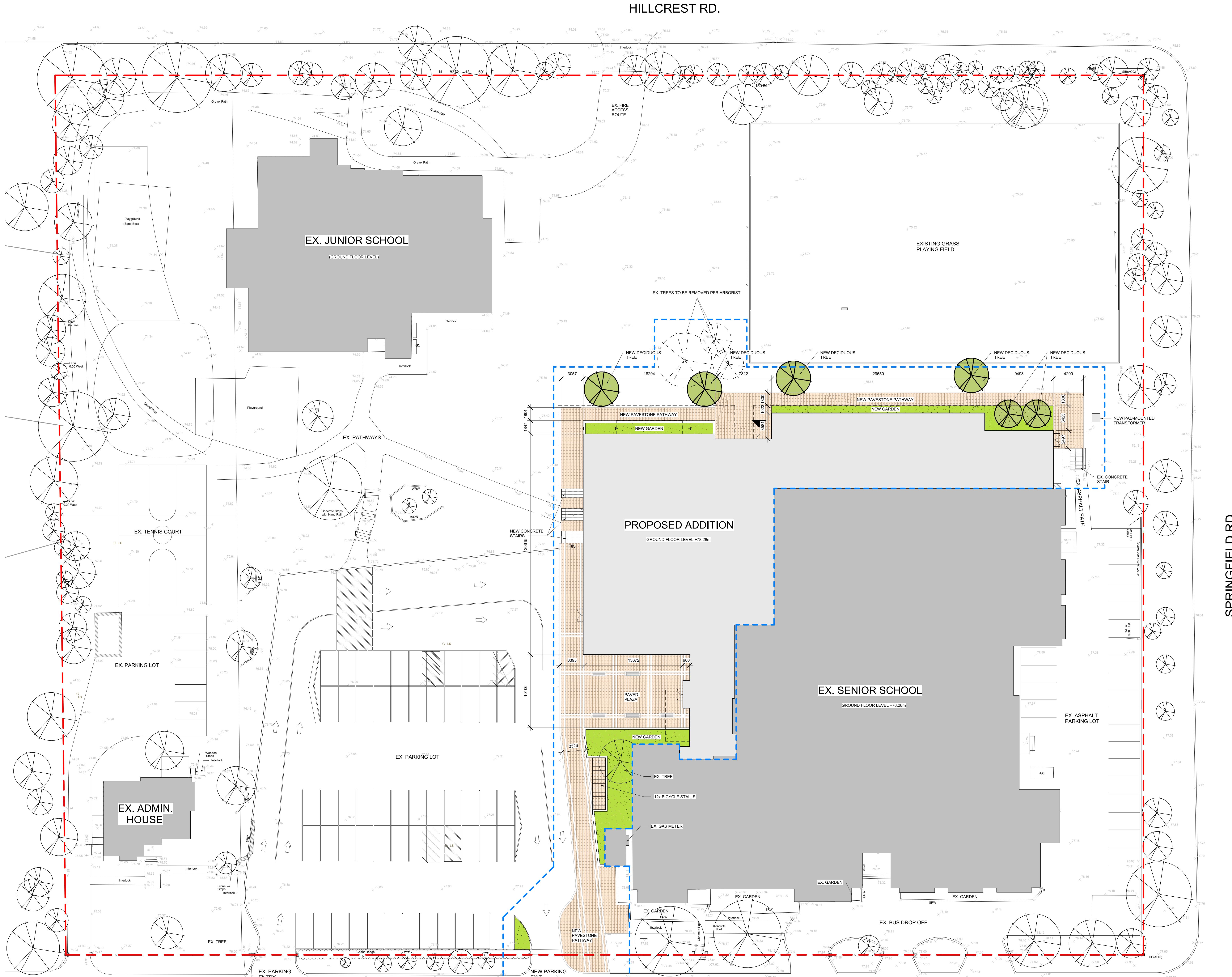
261 Buena Vista Rd - Ottawa, ON - K1M 0V9

Scale at Arch E As indicated
FARROW PARTNERS Yazmin Enriquez
Reviewed by Christopher Blackwell
Drawing title

PROPOSED SITE PLAN

Sheet no.

A103



BUENA VISTA RD

Landscape Plan

LEGEND

 PROPERTY LINE

 AREA OF PROPOSED WORK

 PROPOSED ADDITION FOOTPRINT

 EXISTING BUILDING FOOTPRINT

 EXISTING LANDSCAPE

 PROPOSED GARDENS

 PROPOSED PAVING

 EXISTING TREE

 PROPOSED TREE

A circular compass rose icon with a vertical line through the center. The top half of the line is solid black, while the bottom half is white. The line is oriented vertically, indicating the cardinal direction of North.

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ELMWOOD
SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

261 Buena Vista Rd. - Ottawa, ON - K1M 0V9

114
Scale at Arch E As indicated
ARROW PARTNERS Yazmin Enriquez
Christopher Blackwell

Drawing title

PROPOSED LANDSCAPE PLAN

Sheet no. _____

A104

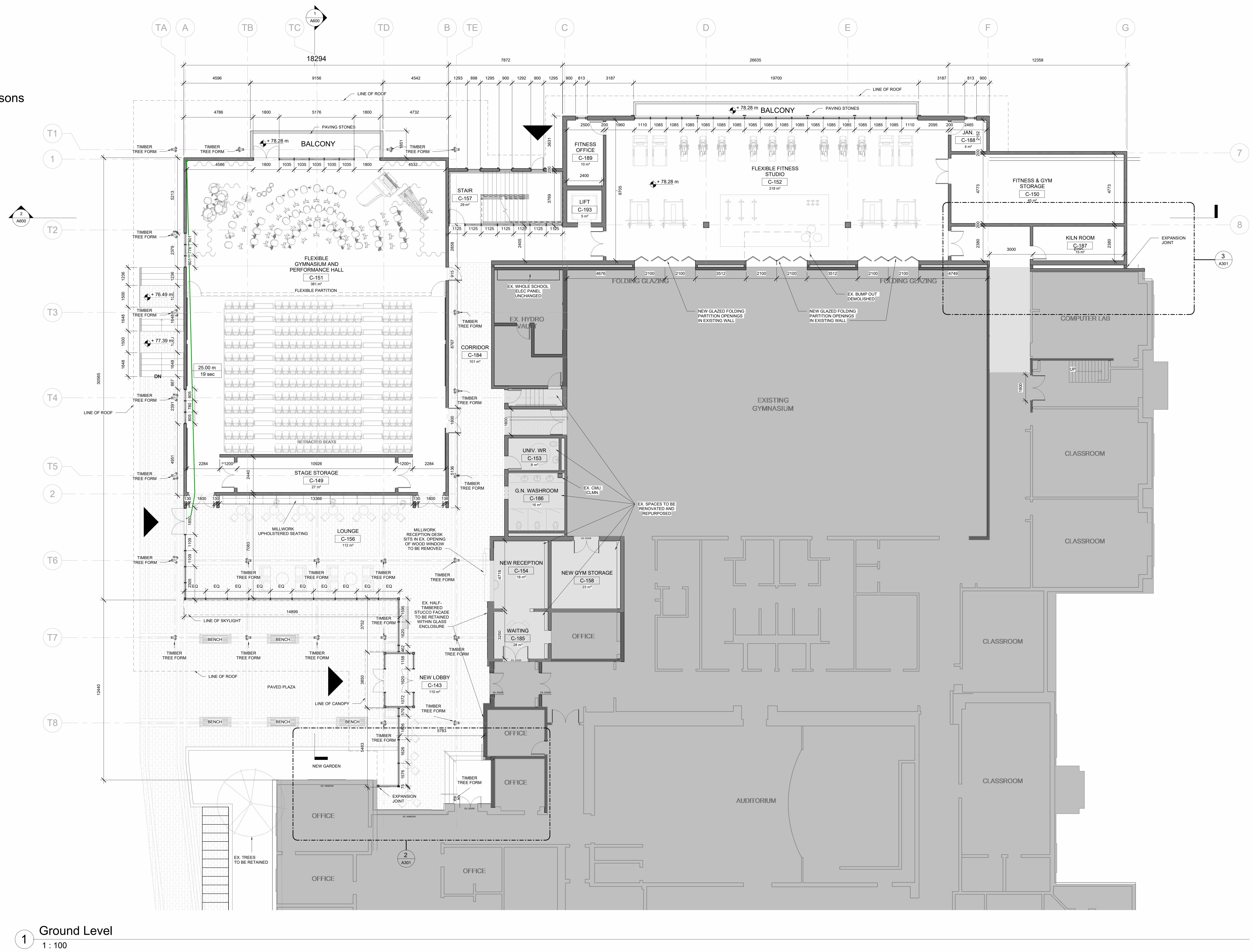
GROUND LEVEL OCCUPANT LOAD

Flexible Gymnasium and Performance Hall

Seating: 240 persons
Stage: $130\text{m}^2 \times 0.75\text{m}/\text{person} = 174$ persons
Total: 414 Persons
Flexible Fitness Studio Space
 $275\text{m}^2 \times 1.85\text{m}^2/\text{person} = 149$ persons

EXIT WIDTH CALCULATION

Total Occupant Load: $414 + 149 = 563$ persons
Exit Width Required: $563 \times 6.1\text{mm} = 3434.3\text{mm}$
Exit Width Provided: 6461mm



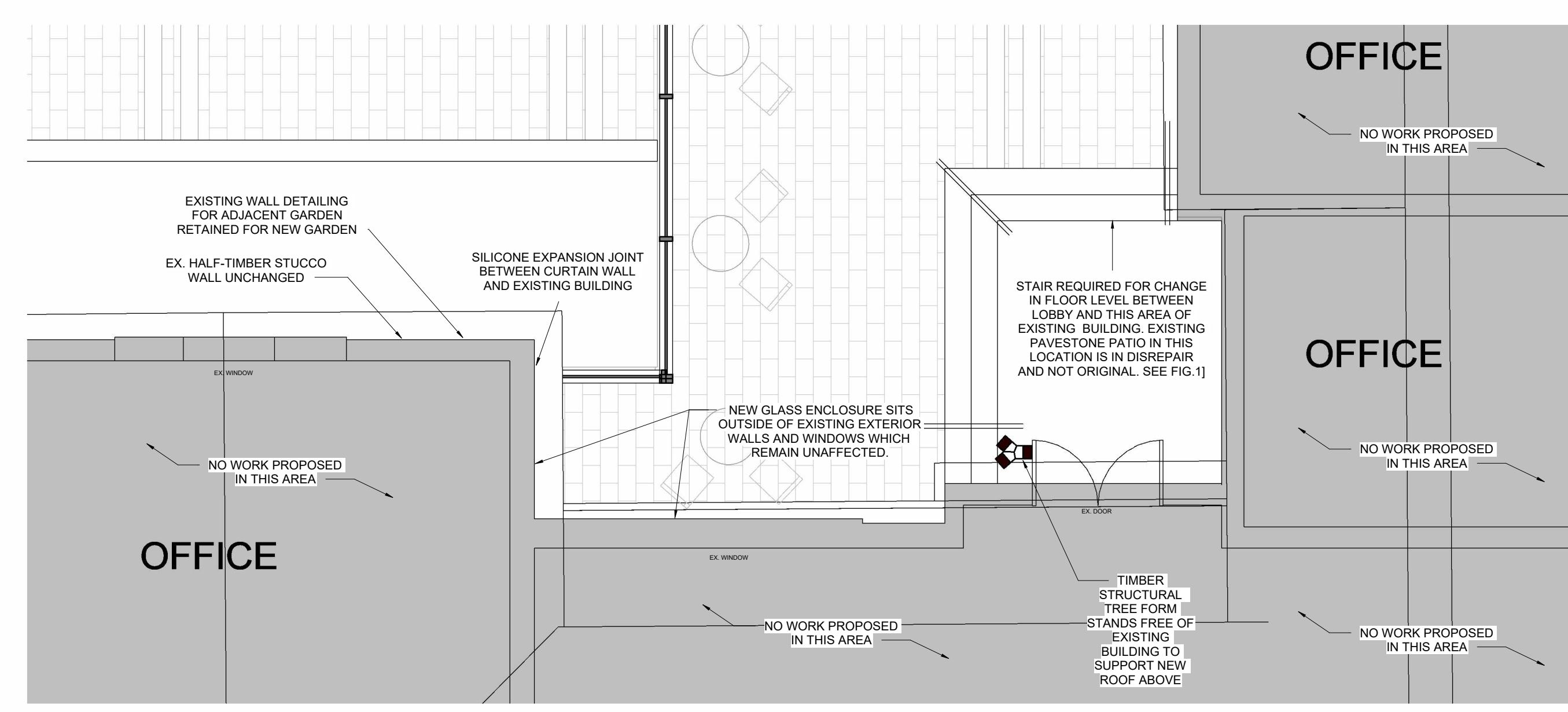
1 Ground Level
1 : 100

CONNECTION OF ADDITION TO EXISTING BUILDING

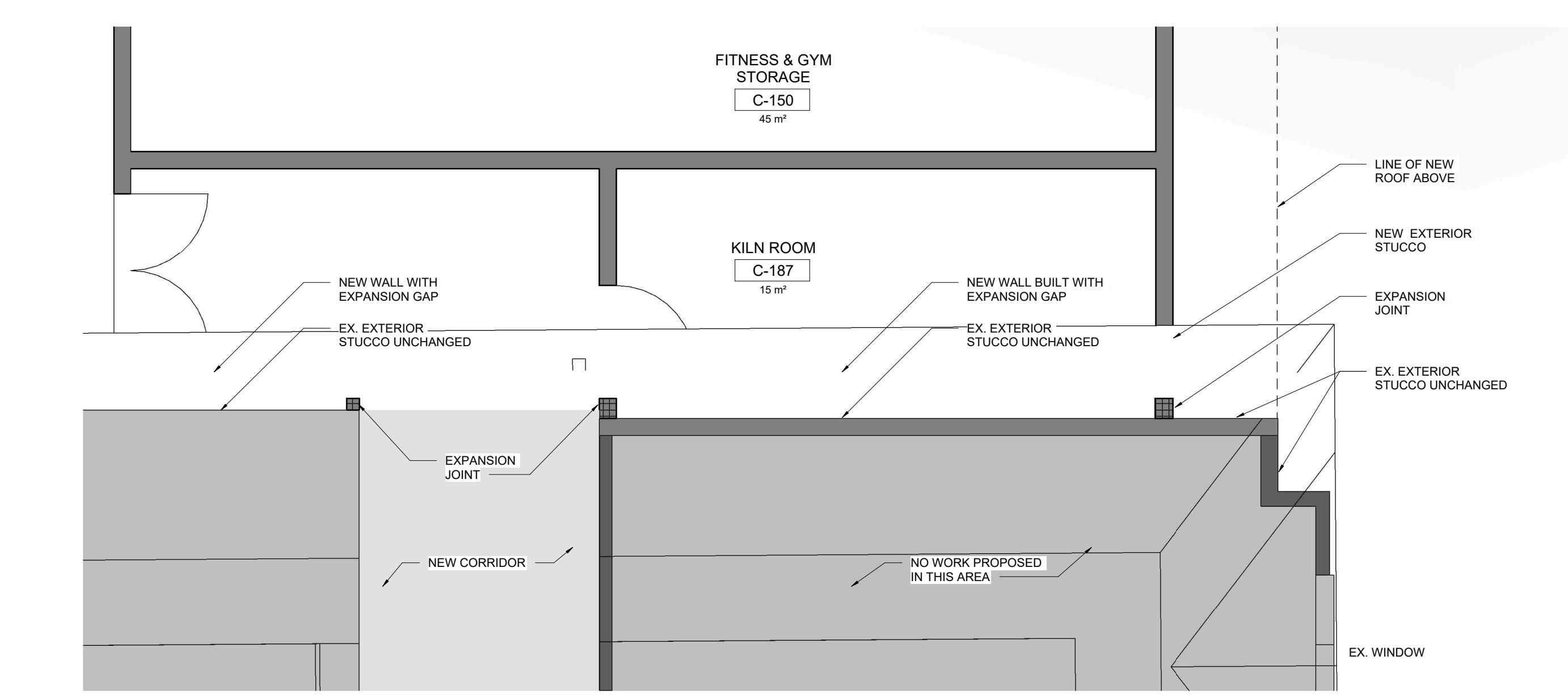
The West half-timbered stucco facade is to be retained within the new glass enclosure of the lobby, both preserving the character of the existing building and lending the lobby a unique indoor-outdoor atmosphere.

The East half-timbered stucco facade is to be retained and unchanged, and connected to the stucco East facade of the addition by expansion joint.

The North Facade, which is not original to the building, is to be completely disguised by the new addition, which is structurally independent and is joined to the existing building by expansion joints along its length.



2 Connection to Existing Building A
1 : 50



3 Connection to Existing Building B
1 : 50

NO. DATE	REVISION / ISSUANCE
1	2025 08 05 ISSUE FOR COORDINATION
2	2025 08 27 ISSUE FOR REVIEW

LEGEND

- PROPOSED ADDITION
- PROPOSED PAVING
- EXISTING BUILDING AREAS TO BE RENOVATED
- EXISTING BUILDING

Project North
The architect noted above has exercised responsible control with respect to design and construction of this building. The architect is the writer's BDCN (Building Code Designation Number).
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Trenton, NJ 08840
Member, American Association of Architects CDP #5388

ELMWOOD SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION

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Drawing file

GROUND LEVEL PLAN

Sheet no.

SECOND LEVEL OCCUPANT LOAD

Classrooms

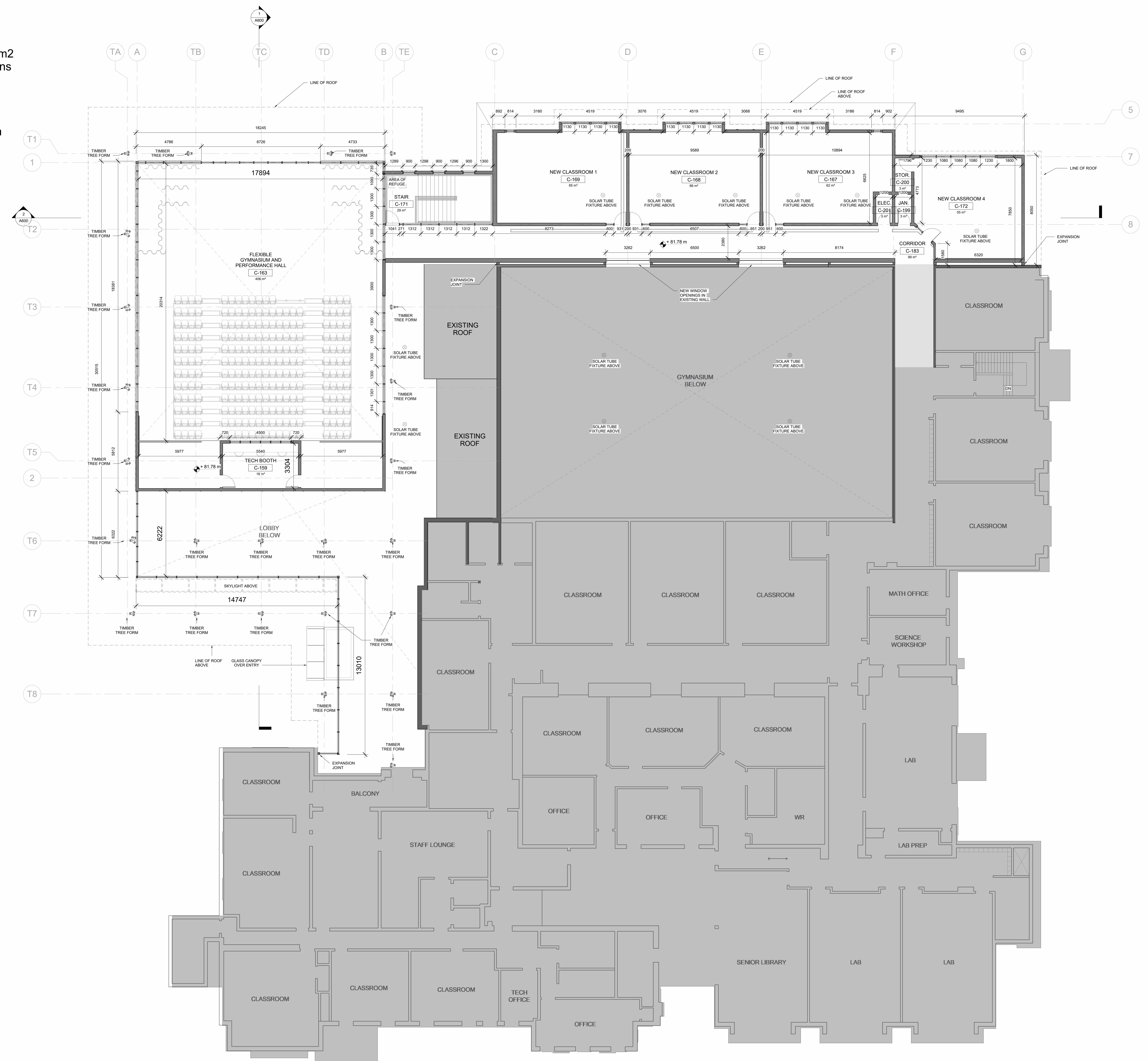
$$68\text{m}^2 + 66\text{m}^2 + 68\text{m}^2 + 63\text{m}^2 = 265\text{m}^2$$

$$265\text{m}^2 \times 1.85\text{m}^2/\text{person} = 143 \text{ persons}$$

EXIT WIDTH CALCULATION

Total Occupant Load: 143 persons

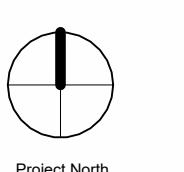
Exit Width Required: $143 \times 6.1\text{mm} = 872.3\text{mm}$
Exit Width Provided: 1956mm



NO.	DATE	REVISION / ISSUANCE
1	2025 08 05	ISSUE FOR COORDINATION
2	2026 08 27	ISSUE FOR REVIEW

LEGEND

- PROPOSED ADDITION
- PROPOSED PAVING
- EXISTING BUILDING AREAS TO BE RENOVATED
- EXISTING BUILDING



The architect noted above has exercised responsible control with respect to design and preparation of this drawing. The architect's name is the writer's BDCN (Building Code Designation Number).

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Toronto, ON M4T 1T1

Ontario Association of Architects CDP #5388

ELMWOOD
SCHOOL

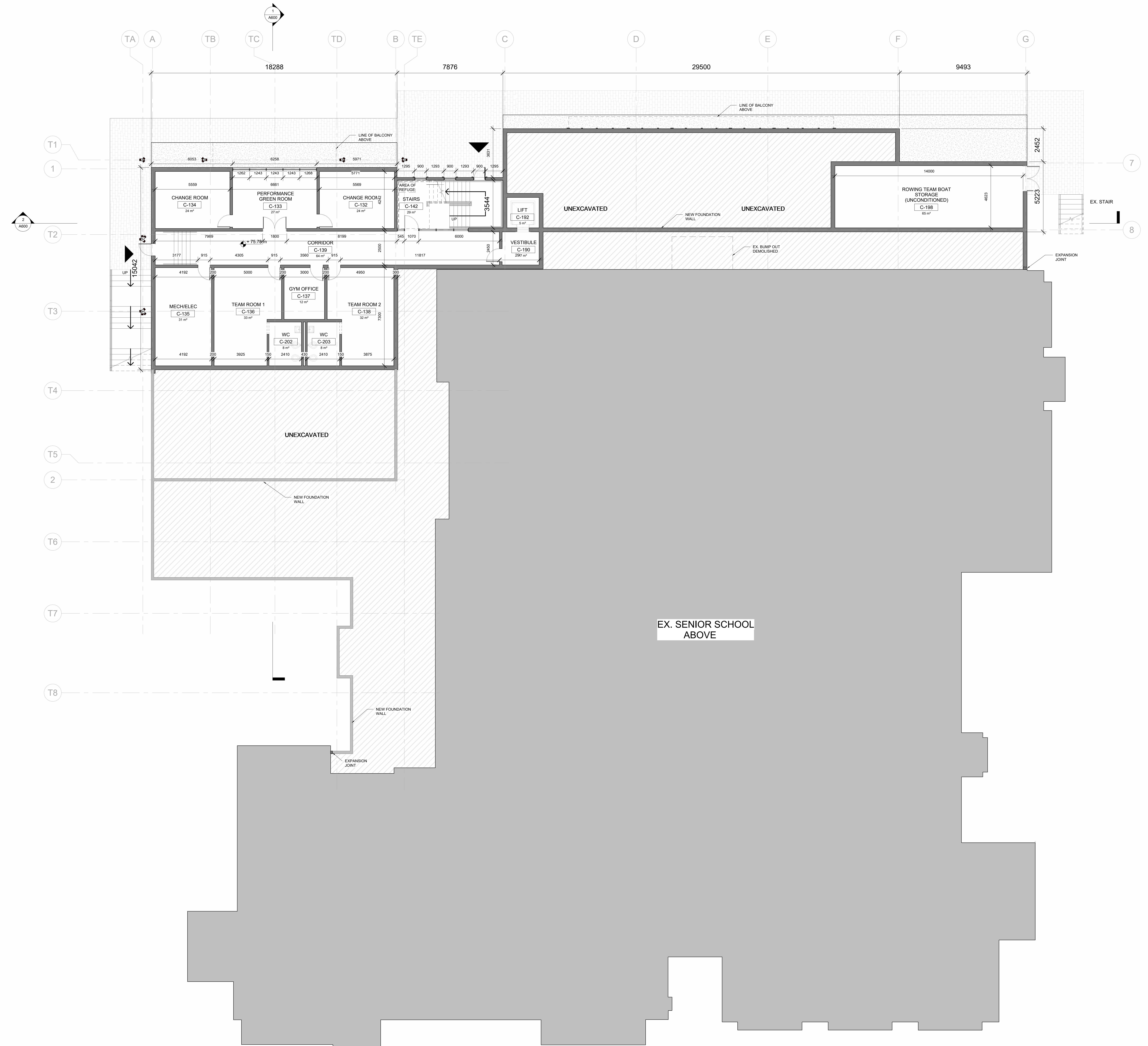
ELMWOOD SENIOR SCHOOL ADDITION

261 Buena Vista Rd - Ottawa, ON - K1M 0V9

9114
Scale at Arch E
FARROW PARTNERS
Reviewed by
Christopher Blackwell
Drawing title

SECOND LEVEL PLAN

Sheet no.

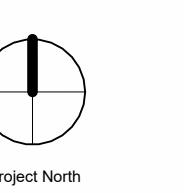


1 Basement Level
1 : 100

NO. / DATE	REVISION / ISSUANCE
1 2025 08 05	ISSUE FOR COORDINATION
2 2026 08 27	ISSUE FOR REVIEW

LEGEND

- PROPOSED ADDITION
- PROPOSED PAVING
- EXISTING BUILDING AREAS TO BE RENOVATED
- EXISTING BUILDING



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
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ELMWOOD
SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION
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9114
Scale at Arch E As indicated
FARROW PARTNERS Author
Reviewed by Checker
Drawing title

BASEMENT LEVEL PLAN
Sheet no. 1



NO. / DATE	REVISION / ISSUANCE
1 2025 08 05	ISSUE FOR COORDINATION
2 2026 08 27	ISSUE FOR REVIEW

LEGEND	
PROPOSED ADDITION	
PROPOSED PAVING	
EXISTING BUILDING AREAS TO BE RENOVATED	
EXISTING BUILDING	

Project North
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Toronto, ON M4T 1T1
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ELMWOOD
SCHOOL

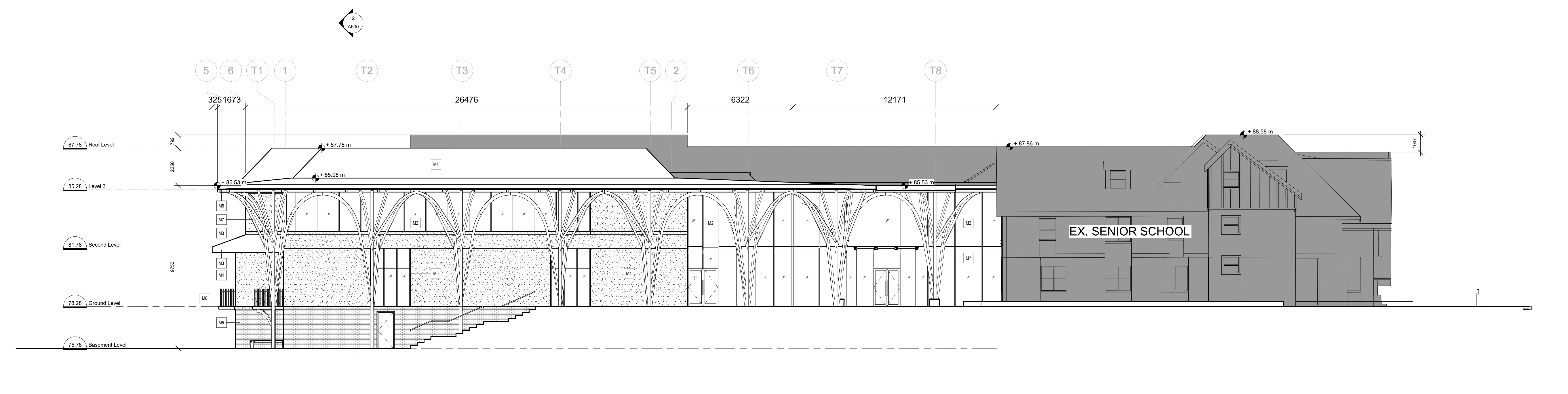
ELMWOOD SENIOR SCHOOL ADDITION
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9114
Scale at Arch E As indicated
FARROW PARTNERS Yazmin Enriquez
Reviewed by Christopher Blackwell
Drawing title

ROOF PLAN

Sheet no.

A304



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1 2025 08 05	ISSUE FOR COORDINATION
2 2026 08 27	ISSUE FOR REVIEW

EXTERIOR MATERIALS LEGEND

- M1 ROOF SHINGLES: RED TO MATCH EXISTING
- M2 VISION GLASS
- M3 WOODEN TRIM, DARK STAINED TO MATCH EXISTING TIMBERING
- M4 IVORY PLASTER STUCCO
- M5 BRICK TO COMPLEMENT EXISTING IN JUNIOR SCHOOL
- M6 RAL-COATED HOLLOW METAL WINDOW-WALL FRAMES
- M7 MASS TIMBER STRUCTURE, STAINED TO COMPLEMENT EXISTING TIMBERING
- M8 STEEL FASCIA

Project North
The architect noted above has exercised responsible control with respect to design and construction of the building. The architect is the writer's BDCN (Building Code Designation Number).

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60 Peacock St., Unit B01
Toronto, ON M5B 1T1
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ELMWOOD
SCHOOL

ELMWOOD SENIOR SCHOOL ADDITION
261 Buena Vista Rd - Ottawa, ON - K1M 0V9

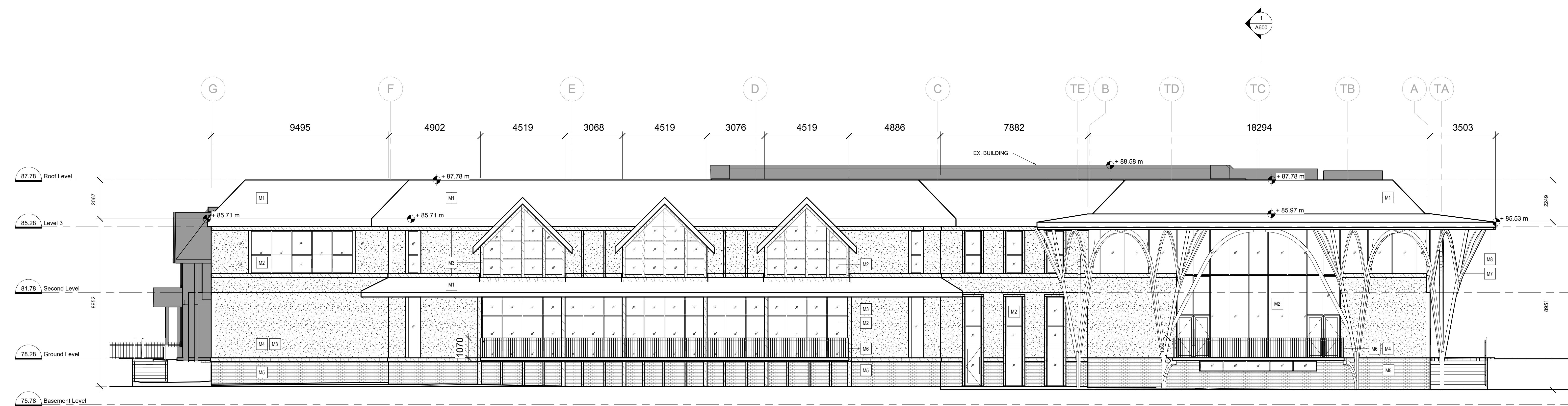
9114
Scale at Arch E As indicated
FARROW PARTNERS Yazmin Enriquez
Reviewed by Christopher Blackwell
Drawing title

BUILDING ELEVATIONS

Sheet no.:

A500

North Elevation
1 : 100



EXTERIOR MATERIAL PALETTE

M1 ROOF SHINGLES: RED TO MATCH EXISTING



M2 VISION GLASS



M3 WOODEN TRIM, DARK STAINED TO MATCH EXISTING TIMBERING



M4 IVORY PLASTER STUCCO



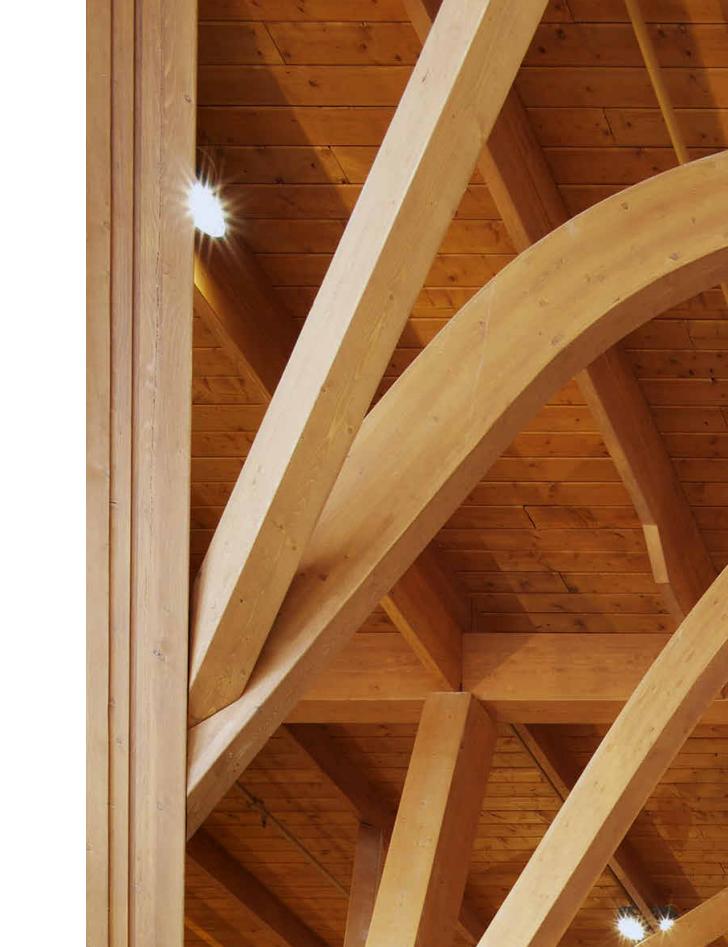
M5 BRICK TO COMPLEMENT EXISTING IN JUNIOR SCHOOL



M6 RAL-COATED HOLLOW METAL WINDOW-WALL FRAMES



M7 MASS TIMBER STRUCTURE, STAINED TO COMPLEMENT EXISTING TIMBERING



M8 STEEL FASCIA



