

Architectural Design Brief

January 20, 2023

For a 9 Storey Apartment Building ‘B’
at Q-West Development by Ashcroft Homes,
114 Richmond Road Ottawa



M. David Blakely
Architect Inc.



ASHCROFT



List of Documents

<u>Page Number(s)</u>	<u>Document</u>	<u>Description</u>
1	Cover Page	
2	List of Documents	
3-6	Design Brief	
7	SP-1a	Site Plan Overall
8	SP-1b	Site Plan enlarged
9	A1	P3 Level Plan
10	A2	P2 Level Plan
11	A3	P1 Ground Level Plan
12	A4	1 st Floor Plan
13	A5	2 nd Floor Plan
14	A6	3 rd and 4 th Floor Plans
15	A7	5 th and 6 th Floor Plans
16	A8	7 th and 8 th Floor Plans
17	A9	9 th Floor Plan
18	A10	Roof Plan
19	A11	Elevations
20	A12	Elevations
21	A13	Building Sections
22	A203	RLA Sun Shadow Study
23	22	RLA Perspectives
24	23	RLA Perspectives
25	24	RLA Perspectives
26	25	RLA Perspectives
27	Schedule 397	By-Law 2008-250



Architectural Design Brief
June 2, 2022

For a 9 Storey Apartment Building “B”
at Q-West Development by Ashcroft Homes,
114 Richmond Road Ottawa

Context

The Construction of Building ‘B’ will be Phase 2-Aa of Ashcroft’s Q-West development. Building ‘B’ is more or less in the middle of the site that extends north/ south from Richmond Road to Byron Avenue. Building ‘B’ will be directly south of the retained part of the former Soeurs de la Visitation Monastery, now referred to as the Convent on our site plan, and will be linked to the convent at the west side with a ‘glazed gasket’ as indicated on SP1b Rev.1.

Previous Approvals

Council of the City of Ottawa, on August 29, 2018 approved:

- 1) The removal of part of the two storey west wing and all of the one-storey south wing of the monastery according to plans prepared by Roderick Lahey Architect Inc.
- 2) The restoration of the historic remaining portion of the monastery in accordance with drawing and conservation plan prepared by Robertson Martin Architects.
- 3) The application to construct a nine-storey apartment building and alter the former monastery in accordance with plans prepared by Roderick Lahey Architect Inc. (final revision Aug 24, 2018) and to be conditional upon the issuance of 2 permits for:
 - a. The restoration of the front verandah.
 - b. The landscape plan for the courtyard.
- 4) Delegate authority for minor design changes.

Architectural Plans - _prepared by M. David Blakely Architect Inc.

The Architectural Design Brief includes the following;

SP1a Site Plan

SP1b Site Plan and Demolition Plan

A1 – A10 Building ‘B’ Underground Parking Plans, Floor Plans and Roof Plan.

A11 – A12 Building ‘B’ Elevations.

A13 Building ‘B’ Sections.



Architectural Design Brief
June 2, 2022

For a 9 Storey Apartment Building
at Q-West Development by Ashcroft Homes,
114 Richmond Road Ottawa

The Proposed Building 'B'

Site Plan

The site plan SP1a Rev.1 and SP-1b Rev. 1 prepared by M. David Blakely Architect Inc. is the same as the City approved Roderick Lahey Site Plan with exception of:

- a. Minor exterior Building 'B' wall articulations due to floor plan development but still within the approved site plan envelope.
- b. Curb line and landscaping changes between the buildings west wall and west property line to allow for building exiting, deliveries, garbage pick-up and staff parking (Reference plans SP-1a, SP-1b and A3). The service lane from Richmond Road does not extend through to Shannon Street but now stops at the extent of phase 2Aa. A pathway and landscaping replace the laneway along the west wall of building 'D' which still allows pedestrian access from the south (Byron Ave and Shannon Street) to the Old Chapel entrance (reference SP-1a).

The proposed Site Plan and Building design are consistent with the Cultural Heritage Impact Assessment R2 prepared by Robertson Martin Architects and approved Architectural design by Roderick Lahey Architect Inc.

- a. The west façade of the historic courtyard is a two storey interpretive wall using salvaged stone from the demolition. This two storey wall has a roof terrace at the 3rd floor with the new building set back above defining the transition from old to new (Reference Elevation drawing 2/A12).
- b. The historic section of the west wing will be separated from the new building by a two storey glazed "gasket" in order to highlight the junction of old and new (Reference floor plan drawing A3 and A4 and elevation drawing 2/A12).
- c. A 1 ½ storey salvaged stone wall feature will be built as part of Phase 2A-b at the separation between the historic and new courtyards. This wall takes inspiration from both old and new buildings in the size and spacing of openings. This feature wall will be complemented with a glazed canopy to reinforce the use of the old south wing as a corridor and to provide a sheltered area in the courtyard (Reference SP-1b).
- d. The old monastery and the new Building 'B' are visually distinguishable from one another. The use of compatible materiality and thoughtful transitions from old to new provides the design a feeling of cohesiveness.



Architectural Design Brief
June 2, 2022

For a 9 Storey Apartment Building
at Q-West Development by Ashcroft Homes,
114 Richmond Road Ottawa

Cont/...

- e. The new Building 'B' materials at the 6 storey "base" are brick and glass. The upper 3 floors are setback from the base and are clad in a lighter appearing metal panel with glazed opening and semi continuous balcony projections.
- f. The brick will be smooth face grey/ beige tone which will complement and provide a backdrop to the existing rough faced limestone of the old monastery.
- g. Glazed areas are extensive and will provide a visual lightness and a reflection of the historic building within the new building elevation.
- h. The window and balcony pattern is much like the Lahey design but are based on actual floor plan and structural design "minor design changes".
- i. The joining of balconies and simple masonry grid is to create an elegant but quiet contemporary aesthetic in contrast to (and will not compete with) the existing stone heritage building.
- j. Landscaping and site lighting will be designed in concert with Kallala Design, Landscape Architect.

Sun/ Shadow Study – prepared by Roderick Lahey Architect Inc. and are included as part of this Design Brief.

This sun/ shadow study is still relevant as the proposed Building 'B' is within the same building envelope (schedule 397).

Perspective Drawings – prepared by RLA Architecture are included as part of this Design Brief.

Although there are minor design changes in the new building, the spatial separations between new and existing treatment of outdoor spaces, and the connections between new and existing vistas shown on the rendering are the same.

Sustainability

Permeable pavers are specified outside of the area of the underground parking deck in order to maximize holding of rain water within the soil.

Green roofing is specified at 1st floor roof deck level and building rooftop amenity area.

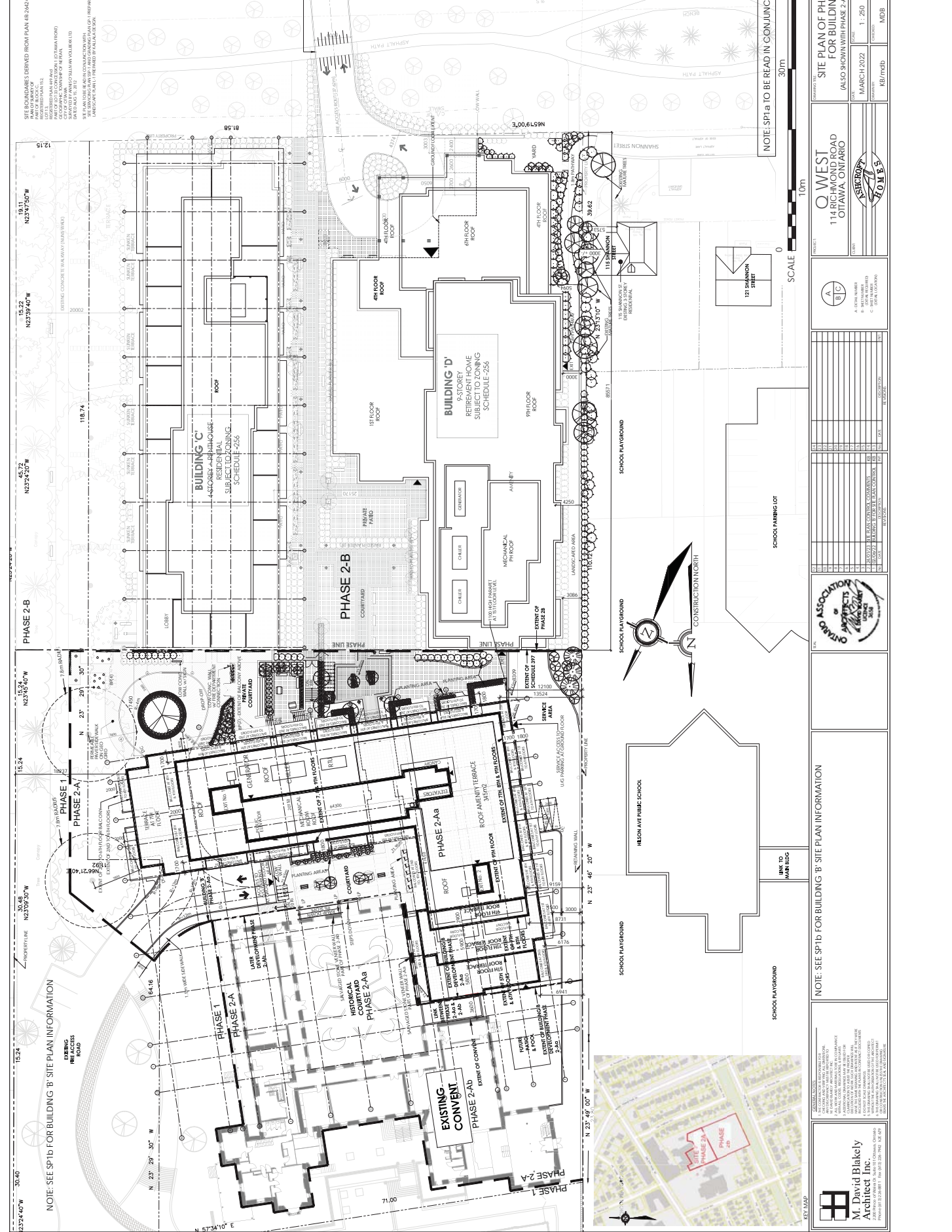
Cistern within P2 underground level will retain storm water and provide rain water storage for site irrigation.

Shading in the form of cantilevered concrete balconies and canopies to reduce solar heat gain.



Zoning Schedule 397-

Building 'B' is designed to be built within the building envelope established by Schedule 397 (see page 27).



NOTE: SEE SP1b FOR BUILDING B' SITE PLAN INFORMATION

EXISTING CONVENT PHASE 2-Ab

BUILDING C'
4-STOREY CONVENT HOUSE
SUBJECT TO ZONING
SCHEDULE 256

BUILDING D'
8-STOREY
RETIEMENT HOME
SUBJECT TO ZONING
SCHEDULE 256

15.24
N23°24'40" W
30.40

15.24
N23°54'10" W
57.34

15.24
N23°29'30" W
29.50

15.24
N23°54'10" W
57.34

15.24
N23°49'00" W
55.85

15.24
N23°46'20" W
54.36

15.24
N23°45'20" W
53.87

15.24
N23°46'20" W
54.36

15.24
N23°45'20" W
53.87

15.24
N23°46'20" W
54.36

15.24
N23°45'20" W
53.87

NOTE: SP1a TO BE READ IN CONJUNCTION WITH SP-1b



CLIENT: CONVENT

DATE: 2022

SCALE: 1:250

DRAWN BY: [Name]

CHECKED BY: [Name]

NOTE: SEE SP1b FOR BUILDING B' SITE PLAN INFORMATION

M. David Blakely Architect Inc.
Architects
200 Dundas Street West, Suite 100
Toronto, Ontario M5G 1X8
Tel: (416) 593-8000

Ontario Association of Architects

REGISTERED ARCHITECT

NO. [Number]

Q WEST

114 RICHMOND ROAD
OTTAWA, ONTARIO

PROJECT: [Name]

DATE: MARCH 2022

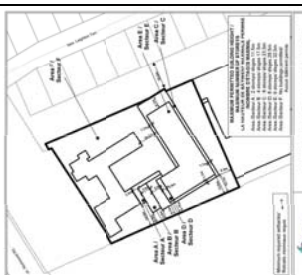
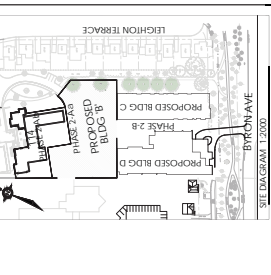
SCALE: 1:250

SHEET NO.: SP1a

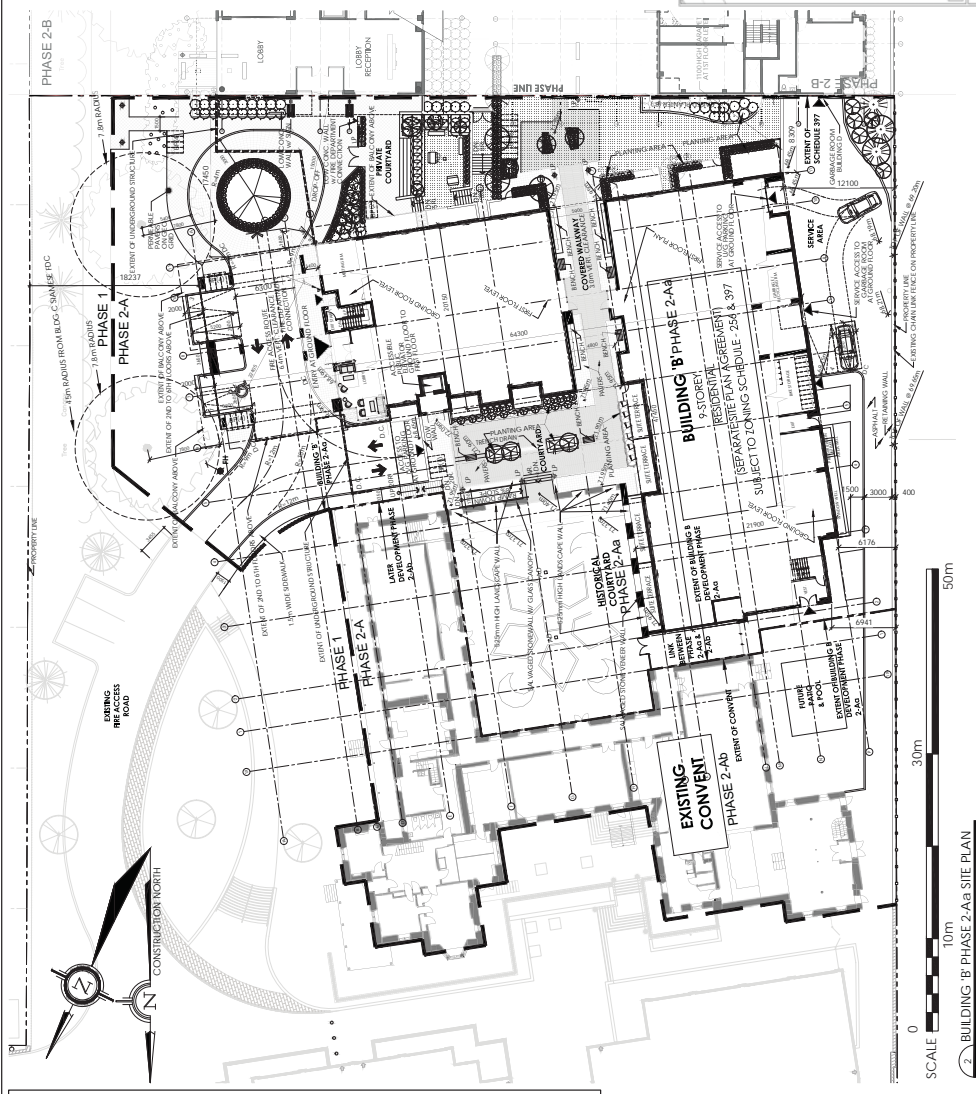
DATE: 1-250

CONTRACTOR: K&F/mdb

SCALE: 1:250



SCHEDULE 397 TO BY-LAW No. 2008-250
 THIS PLAN IS FOR THE PROPOSED PHASE 2-A
 OF THE WEST 114 RICHMOND ROAD
 AND DEMOLITION PLAN - PHASE 2-A
 THE SITE BOUNDARIES DERIVED FROM PLAN 48-204-24.



1. SITE INFORMATION (PHASE 2A)

ZONING: IM 174(S) S25 & S37
 SITE AREA: 6267m²
 SURFACE AREA: 125,280m² (AS SHOWN ON SPP) REFER TO DRAWINGS A302, A301, A303 AND A201

BUILDING 'B' STATISTICS

UNIT TYPES	93 UNITS
1-BED	64 UNITS
2-BED	29 UNITS
TOTAL APARTMENT DWELLING UNITS	93

TOTAL APARTMENT DWELLING UNITS = 93

BUILDING 'B' STATISTICS - 9 STOREYS

Zoning GFA	Gross Overall
780m ²	1000m ²
1500m ²	1750m ²
1500m ²	1750m ²
1500m ²	1750m ²
1500m ²	1750m ²
1500m ²	1750m ²
1500m ²	1750m ²
1500m ²	1750m ²
TOTAL AREA ABOVE GROUND	14257m ²

BUILDING 'B' STATISTICS - 9 STOREYS

REQUIRE D = 89 x 610 / 100 = 112m ²	PROVIDED = 1100m ²
REQUIRE D = 89 x 610 / 100 = 112m ²	PROVIDED = 1100m ²
REQUIRE D = 89 x 610 / 100 = 112m ²	PROVIDED = 1100m ²
REQUIRE D = 89 x 610 / 100 = 112m ²	PROVIDED = 1100m ²

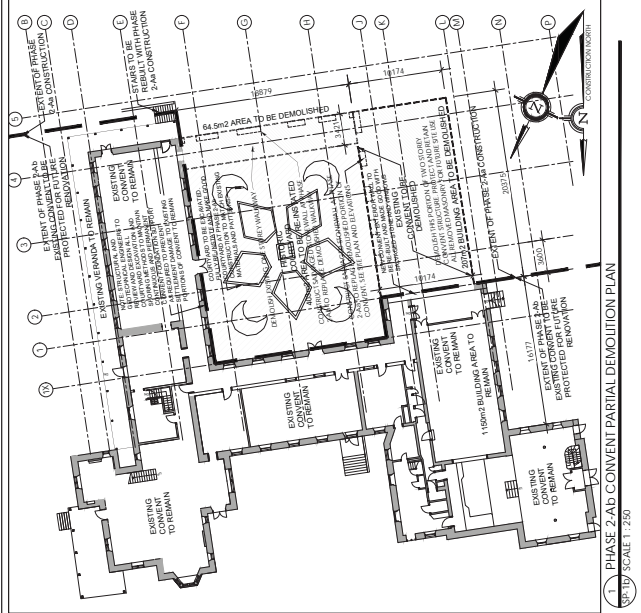
2. BUILDING 'B' PHASE 2-Aa SITE PLAN
 SCALE 1:250

PARKING

187 D.U.'S / D.U. = 98 BIKE PARKING SPACES	PROVIDED = 110
154 INTERIOR BIKE PARKING SPACES	PROVIDED = 110
14 EXTERIOR BIKE PARKING AT SURFACE	PROVIDED = 110
TOTAL BIKE PARKING SPACES (WITHIN PHASE 2A)	110

VISITOR PARKING (SCHEDULE 1A - AREA X)

187 D.U. = 12 X 0.1 = 13.5 SPACES REQUIRED	PROVIDED = 13
154 EXTERIOR SPACES AT GROUND FLOOR LEVEL	PROVIDED = 13
14 UNDERGROUND SPACES PROVIDED WITHIN LEVEL P1 (DRAWING A3)	PROVIDED = 13
TOTAL = 18 BIKE SPACES (DESIGNATED WITH 'V')	



EXISTING CONVENT PHASE 2-Aa

REQUIRE D = 89 x 610 / 100 = 112m²
 PROVIDED = 1100m²

REQUIRE D = 89 x 610 / 100 = 112m²
 PROVIDED = 1100m²

REQUIRE D = 89 x 610 / 100 = 112m²
 PROVIDED = 1100m²

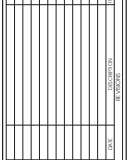
REQUIRE D = 89 x 610 / 100 = 112m²
 PROVIDED = 1100m²

NOTE: SP1b TO BE READ IN CONJUNCTION WITH SP-1a

SITE PLAN - PHASE 2-Aa BUILDING 'B' AND DEMOLITION PLAN - PHASE 2-Aa		
DATE	1:250	MDR
CHECKED	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE



1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50



11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60

NOTE: SEE SP1b FOR ADDITIONAL SITE PLAN INFORMATION

3. BUILDING 'B' PHASE 2-Aa INFORMATION		
DATE	DATE	DATE
DATE	DATE	DATE

M. David Blakely
 Architect Inc.
 200 Dundas Street West, Suite 1100, Toronto, Ontario
 Phone: 416-593-1111 Fax: 416-593-1112 L&P



**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 C.E. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. VERIFY ALL CODES, REGULATIONS, & BY-LAWS.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

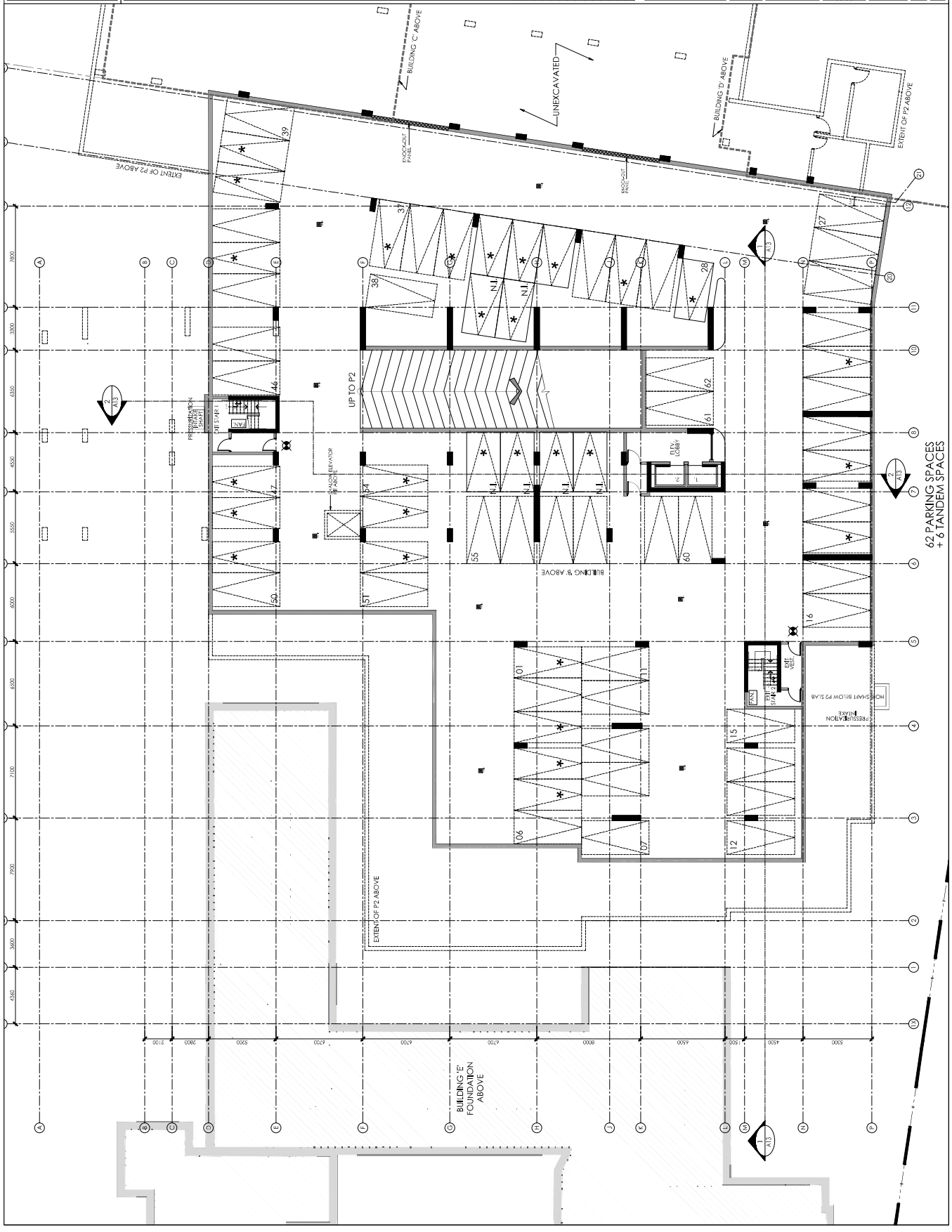
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

PROJECT: **Q WEST BUILDING 'B'**
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

CLIENT: **SHROPSHIRE HOMES**

DATE: DEC. 2021
SCALE: 1:125
DRAWN BY: mdb
CHECKED: MDB

SHEET NO: **A1**
PROJECT: P3 LEVEL



62 PARKING SPACES
+ 8 TANDEM SPACES



**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 OF 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO A.D.A.M. BLAKELY ARCHITECT INC.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR THE PROVISION OF WORK. SUCH DRAWINGS WILL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING IS THE PROPERTY OF M.D.B.A. ARCHITECT INC. AND SHALL NOT BE USED FOR PERMIT OR ANY OTHER PURPOSE WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

PROFESSOR'S SEAL: _____ IMPERIAL SCALE

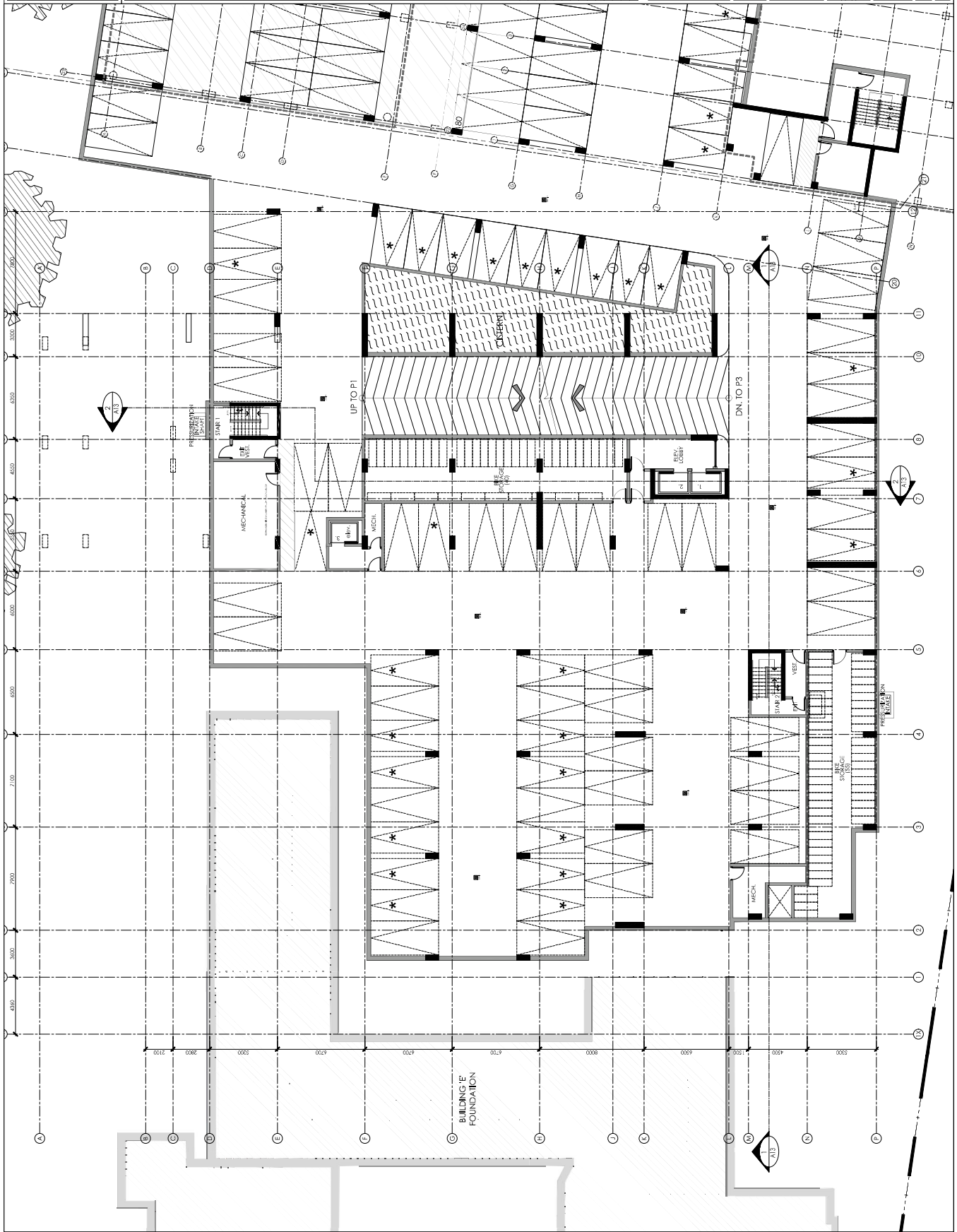


**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**



P2 LEVEL

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A2
DRAWN BY: mdb	CHECKED: mdb	MDA: mdb





**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
Phone: (613) 226-8811 Fax: (613) 226-7942 LSE 6/9

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC. FOR CLARIFICATION.
2. WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR EXECUTION OF WORK. SUCH DRAWINGS WILL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING SHALL NOT BE USED FOR PERMITS WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
7. THIS DRAWING SHALL NOT BE USED FOR PERMITS UNLESS THE ARCHITECT'S SEAL AND SIGNATURE.

NO.	DATE	DESCRIPTION
12		
11		
10		
9		
8		
7		
6	14/07/22	FOR SHEET/PLAN CONTROL COMMENTS
5	10/06/22	FOR SHEET/PLAN CONTROL
4	24/02/22	FOR STRUCTURAL DESIGN
3	14/02/22	BARBERE REVISIONS DESIGN
2	14/02/22	BARBERE REVISIONS DESIGN
1	14/02/22	FOR REVIEW DESCRIPTION
0		

NO.	DATE	DESCRIPTION
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1		
0		

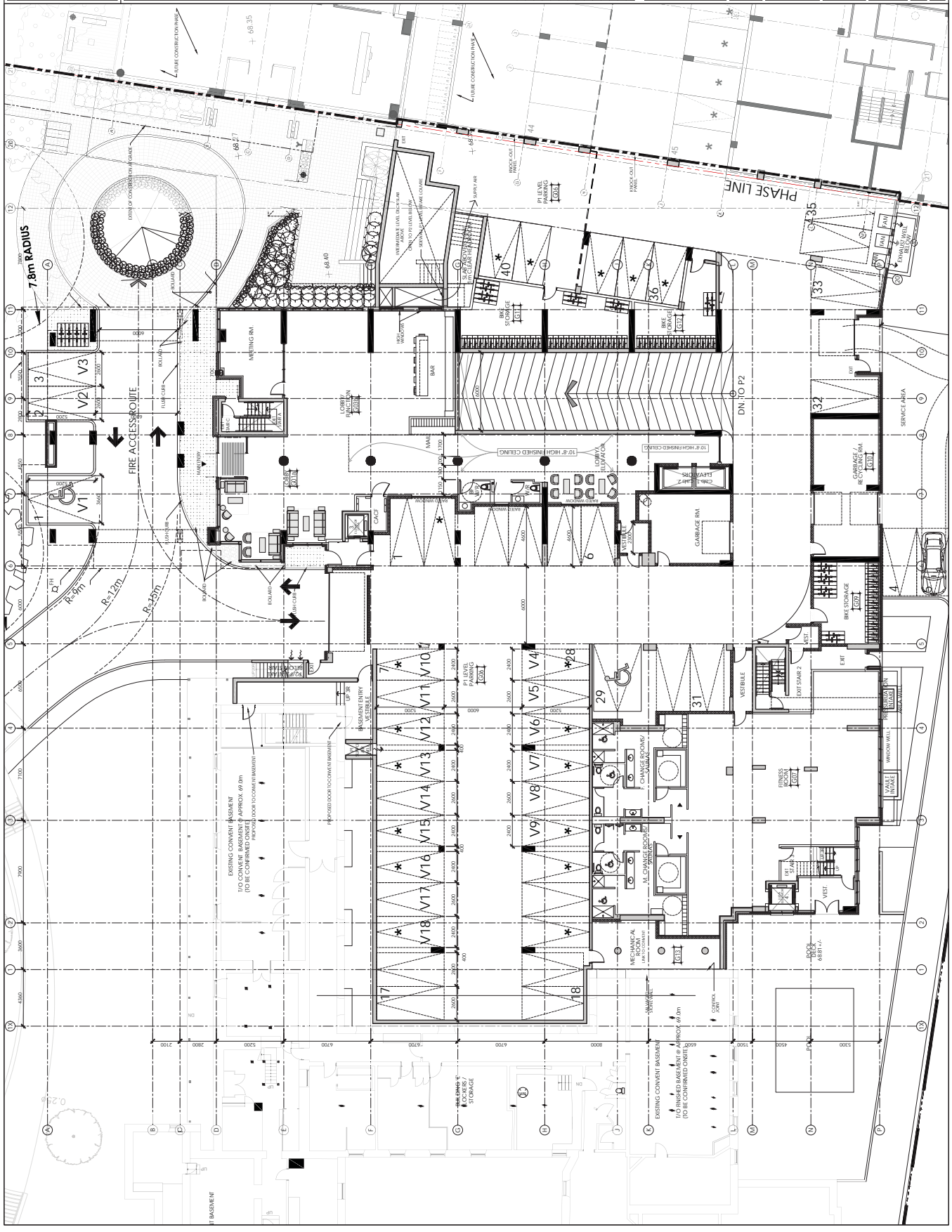
CONSTRUCTION NORTH
A - SHEET NUMBER
B - SHEET NUMBER
C - SHEET NUMBER
D - SHEET NUMBER

PROJECT
**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**

CLIENT
ASHCROFT

DRAWING TITLE
P1/ GROUND FLR. PLAN

DATE
NOV 2022
SCALE
1:125
PREPARED BY
MB
CHECKED BY
MTB
PROJECT NO.
A3





M. David Blakely Architect Inc.
 2200 Prince of Wales Dr. Suite 101 Ottawa, Ontario
 Phone: (613) 226-8811 Fax: (613) 226-7942, 436-699

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC. IMMEDIATELY.
2. WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR EXECUTION OF WORK. SUCH DRAWINGS WILL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING SHALL NOT BE USED FOR PERMIT WITHOUT THE APPROVATION OF THE ARCHITECT.
7. THIS DRAWING SHALL NOT BE USED FOR PERMIT WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

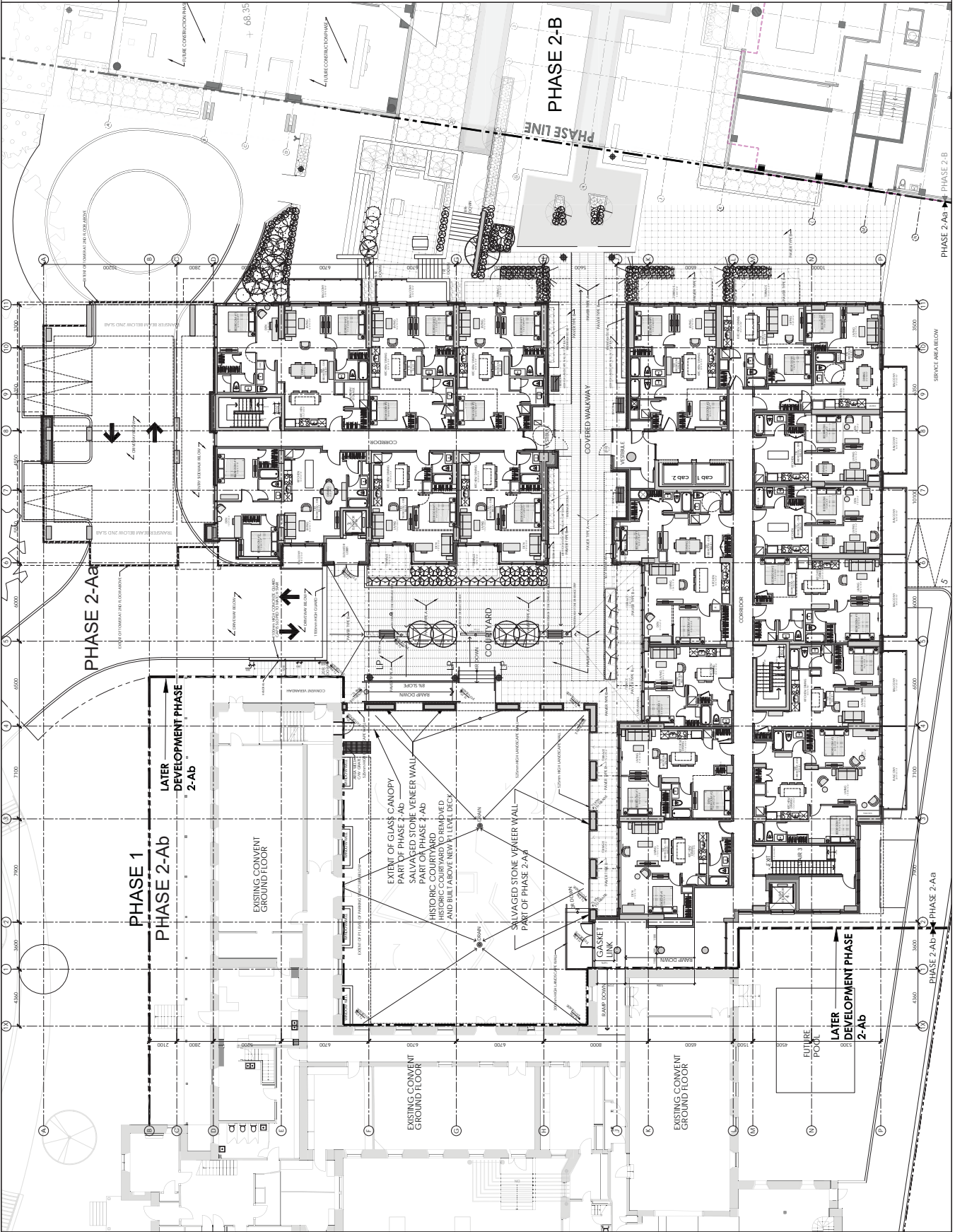
NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

ARCHITECT'S SEAL: _____
 ENGINEER'S SEAL: _____
 PROJECT: _____
 CONSTRUCTION NORTH
 Q WEST
 BUILDING 'B'
 9 STOREY APARTMENT BUILDING
 OTTAWA, ONTARIO



ASHCROFT
 ENGINEER TITLE: _____
 FIRST FLOOR PLAN

DATE	SCALE	PROJECT	FOURTH
NOV 2022	1:125		A4
DESIGNED BY	MB	PREPARED BY	MTB





**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7492 C.F. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO M.D.B. IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, BY-LAWS, ORDINANCES, AND ACTS.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

PROJECT: IMPERIAL BAY



**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**



SECOND FLOOR PLAN

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A5
DRAWN BY: MDB	CHECKED: MDB	





**M. David Blakely
Architect Inc.**

2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO A.D.M.D. LARSEN ARCHITECT INC.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE REQUIRED FOR PROVISION OF WORK. SUCH DRAWINGS WILL BE PROVIDED BY THE CONTRACTOR AND SHALL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THIS DRAWING IS THE PROPERTY OF A.D.M.D. LARSEN ARCHITECT INC. AND SHALL NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE APPROVAL OF THE ARCHITECT.
7. THIS DRAWING SHALL NOT BE USED FOR PERMIT DRAWING PURPOSES WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

REVISIONS

APPROVED SEAL: _____ IMPROPER SEAL

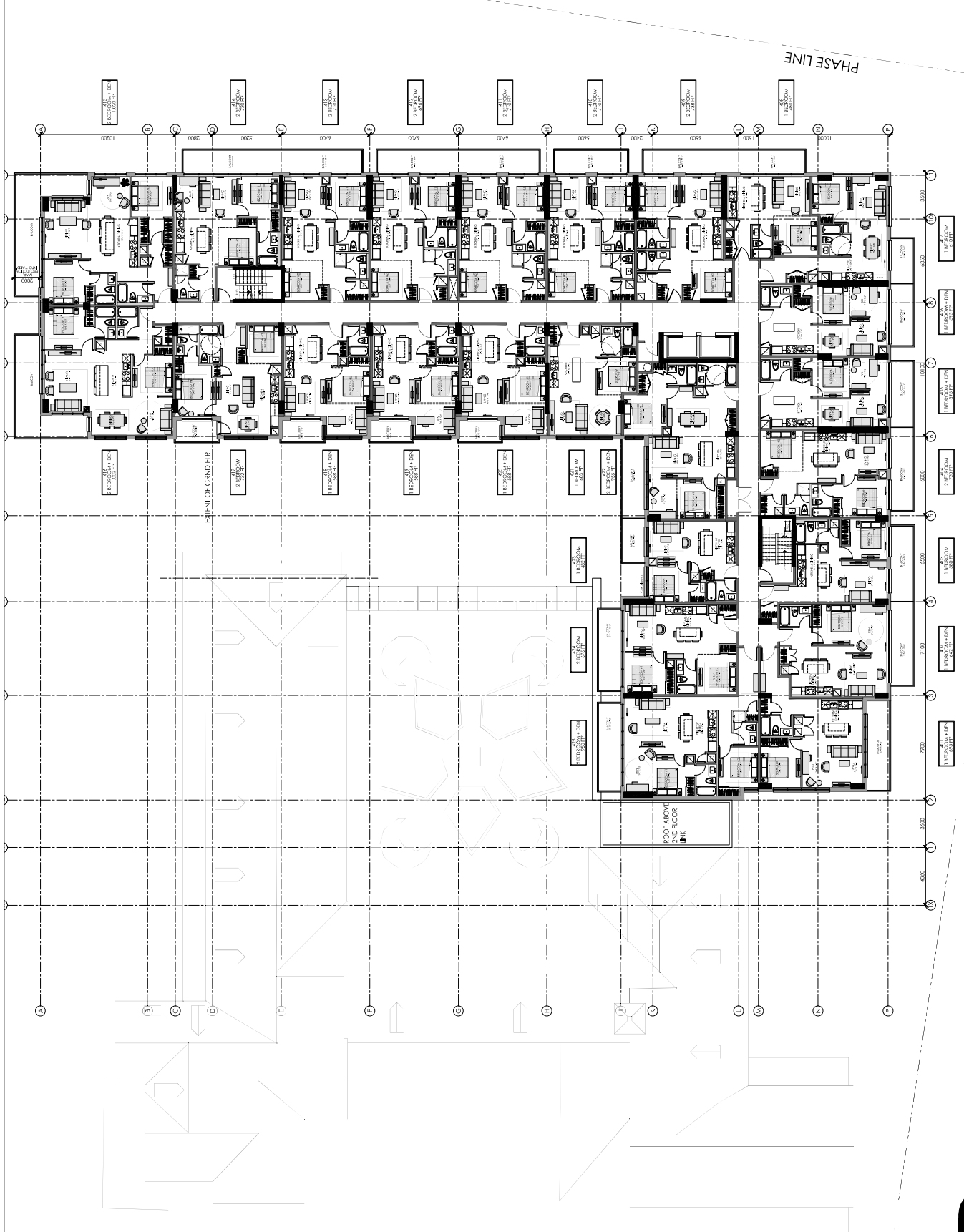


PROJECT:
Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO



DRAWING FILE:
3RD & 4TH FLOOR PLAN

DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A6
DRAWN BY: mdb	CHECKED: mdb	





**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ANY DISCREPANCY MUST BE REPORTED TO ARCHITECT IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
11. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.
12. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CITY, PROVINCIAL, FEDERAL AND NATIONAL CODES, REGULATIONS, & BY-LAWS.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

APPROVED FOR CONSTRUCTION:

DATE: _____

PROJECT: _____

CLIENT: _____

ARCHITECT: _____

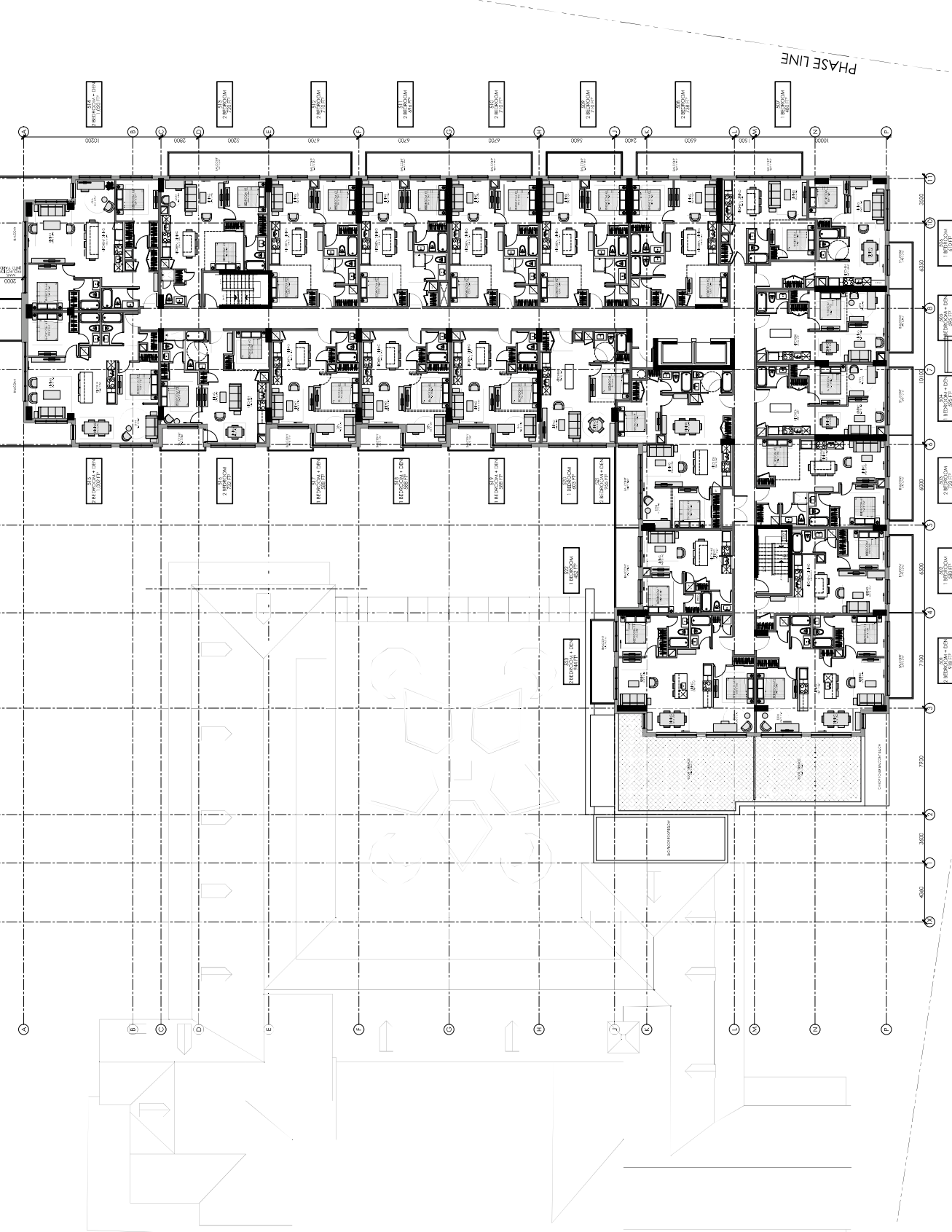
DATE: _____

SCALE: _____

CHECKED: _____

DATE: _____

SHEET NO: _____



5TH & 6TH FLOOR PLAN

Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO

ARCHITECT: M.D.B.

DATE: DEC. 2021

SHEET NO: A7



**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO ARCHITECT IMMEDIATELY.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

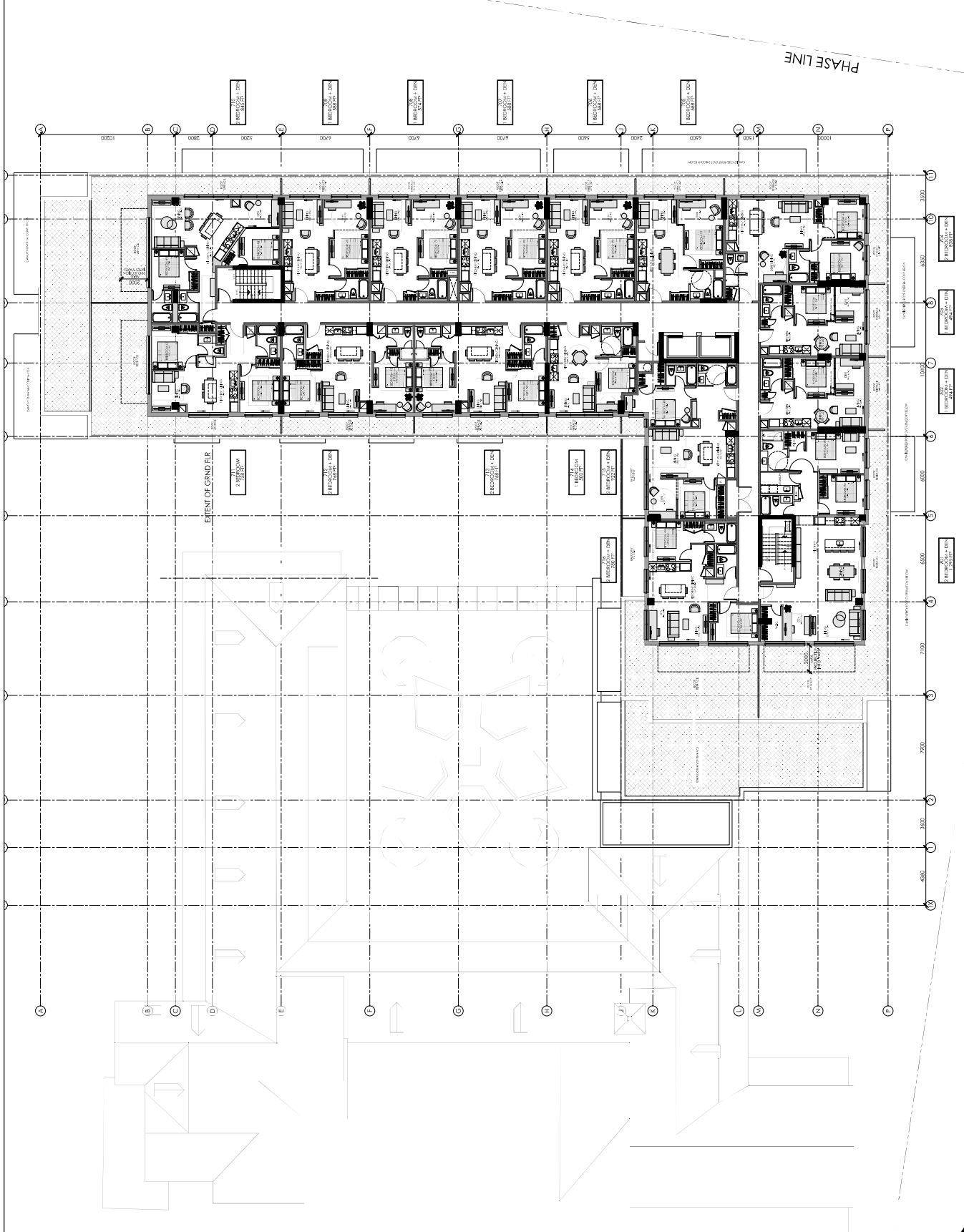
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

PROJECT: 9 STOREY APARTMENT BUILDING
Q WEST BUILDING 'B'
OTTAWA, ONTARIO

CLIENT: SACROFTY HOMES

DRAWING FILE: 7TH & 8TH FLOOR PLAN

DATE: DEC. 2021
SCALE: 1:125
DRAWN BY: MJB
CHECKED: MJB
SHEET NO: A8





**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 C.F. 619

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. ANY DISCREPANCY MUST BE REPORTED TO ALDM & SALEY ARCHITECT INC.
2. MIFAI CODES, REGULATIONS, & BY-LAWS
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR PROVISION OF WORK. SUCH DRAWINGS WILL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS.
4. THE REPRODUCTION SHALL NOT BE ALTERED.
5. THIS DRAWING IS THE PROPERTY OF M. DAVID BLAKELY ARCHITECT INC. IT IS TO BE USED FOR THE PROJECT AND NOT FOR ANY OTHER PROJECT.
6. THE DRAWING SHALL NOT BE USED FOR PERMIT DRAWING WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION	BY
12			
11			
10			
9			
8			
7			
6			
5			
4	10/06/22	FOR THE PLAN CONTROL	KB
3	24/07/22	FOR STRUCTURAL DESIGN	KB
2	11/07/22	BARBERSHOP SITES ADDED	MS
1		FOR PRELIMINARY DESIGN	MS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

APPROVED BY: _____
DATE: _____



PROJ: _____

CONSTRUCTION NORTH

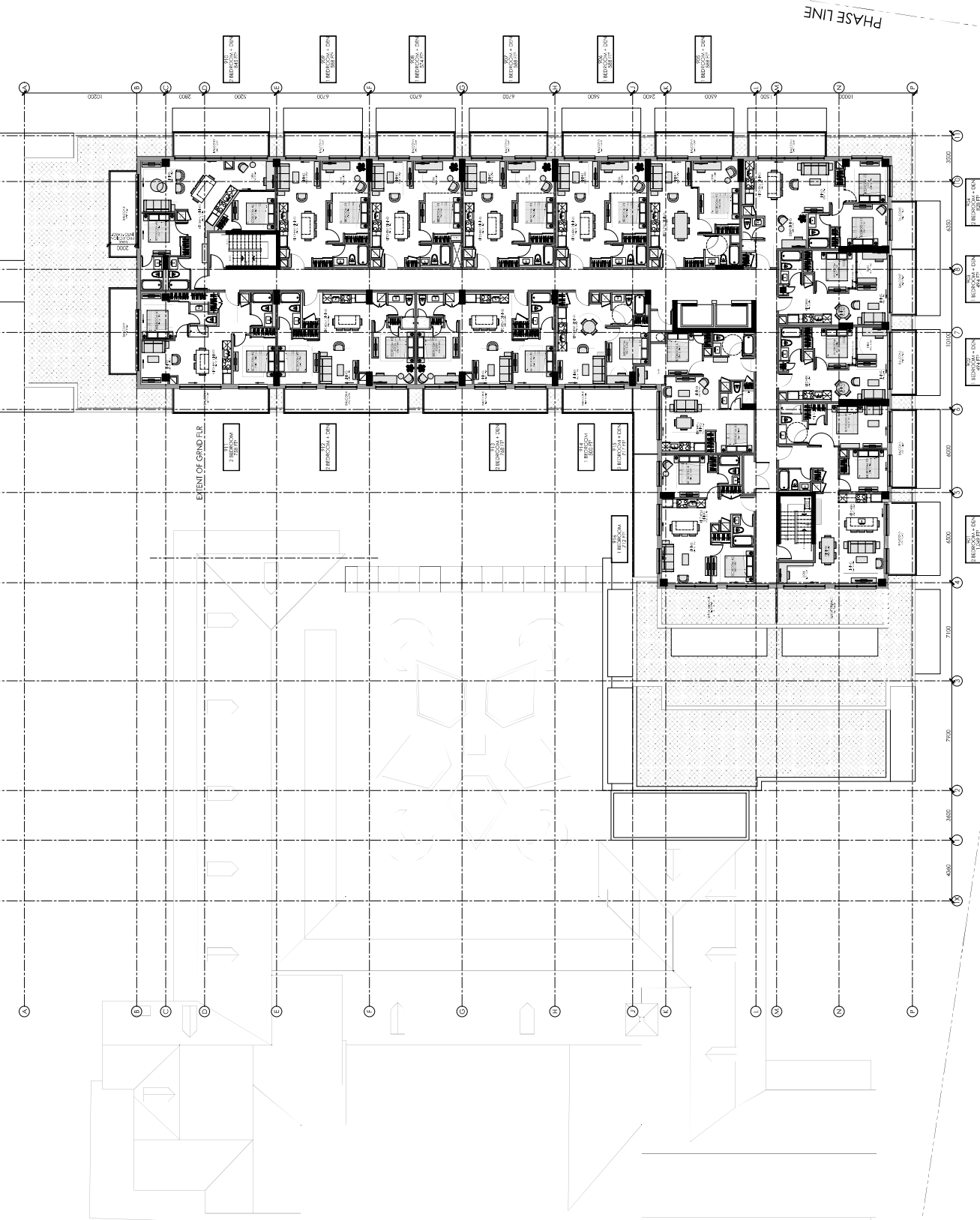
Q WEST BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO



9TH FLOOR PLAN

DATE: DEC. 2021
SCALE: 1:125
CHECKED: MJB
MJB

SHEET NO: **A9**





**M. David Blakely
Architect Inc.**
2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone: (613) 276-8811 Fax: (613) 276-7942 C.F. 619

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ANY DISCREPANCY MUST BE REPORTED TO ALDMB LABEL ARCHITECT INC.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

NOTE:
WINDOW SIZES AND LOCATIONS
TO BE COORDINATED WITH ELEVATIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

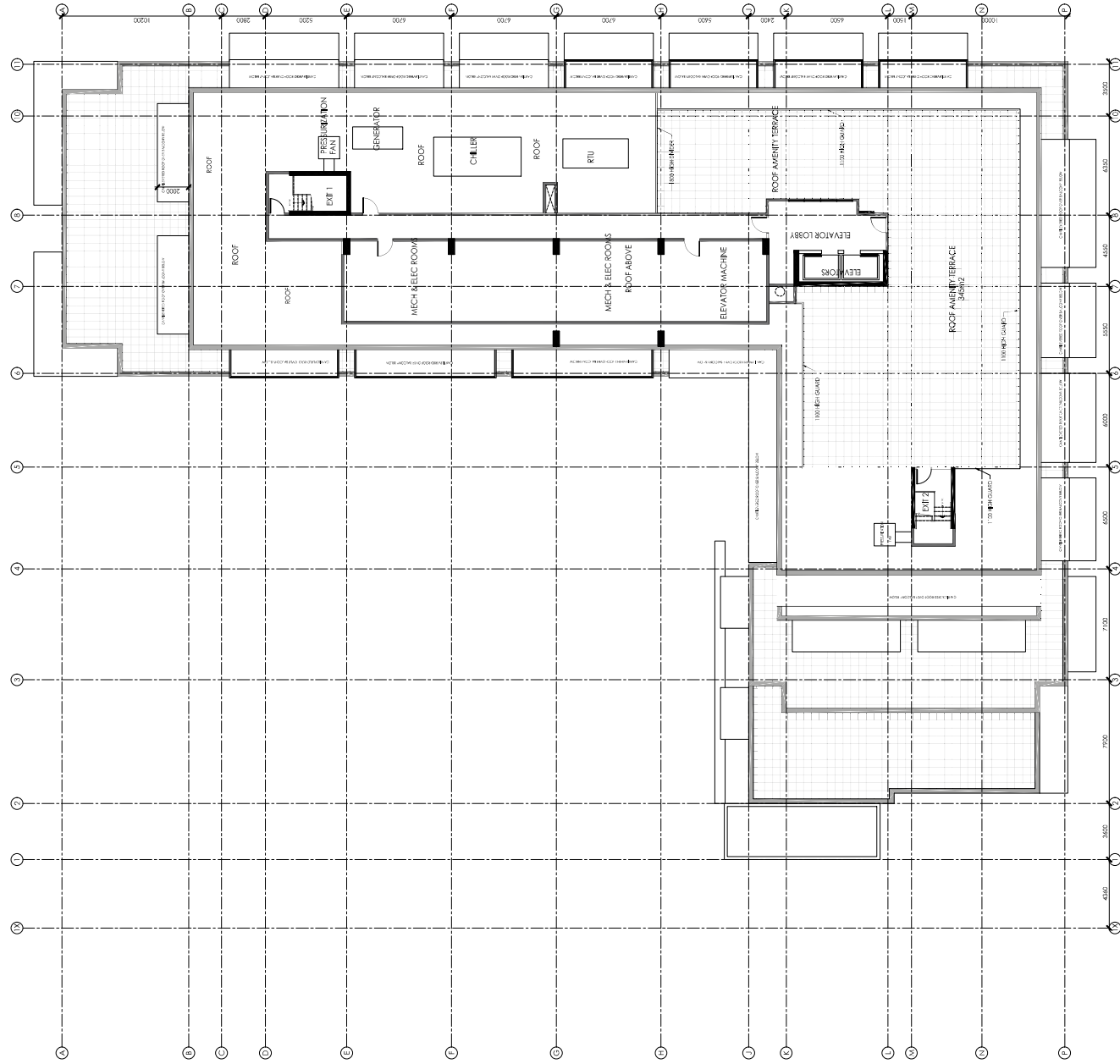
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



**Q WEST
BUILDING 'B'
9 STOREY APARTMENT BUILDING
OTTAWA, ONTARIO**

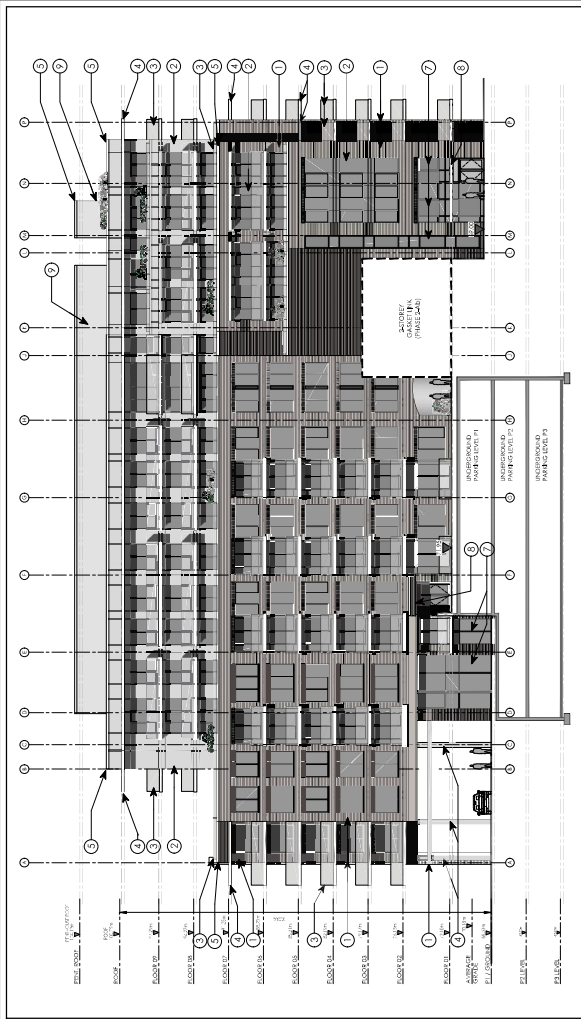


DATE: DEC. 2021	SCALE: 1:125	SHEET NO: A10
DRAWN BY: mdb	CHECKED: MDB	

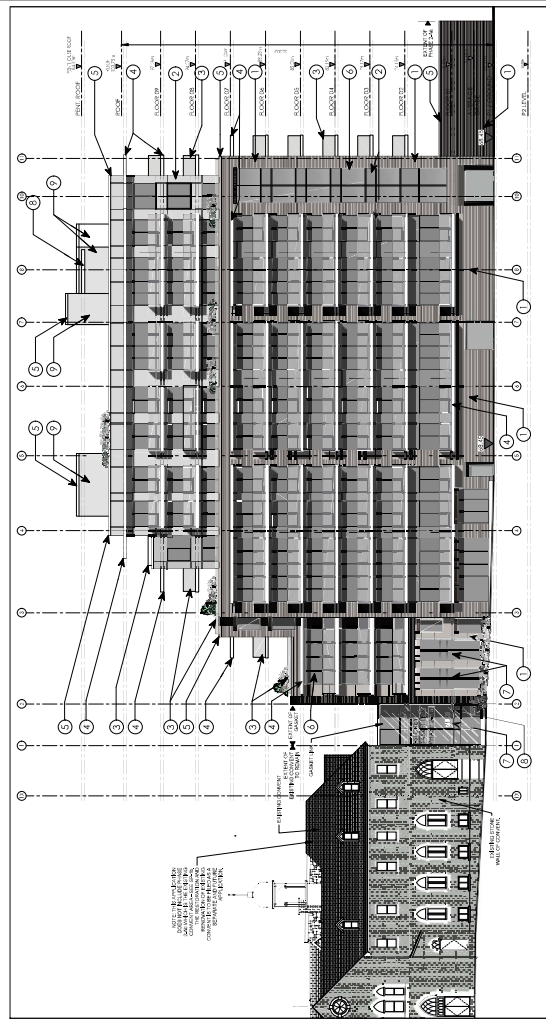


PHASE LINE

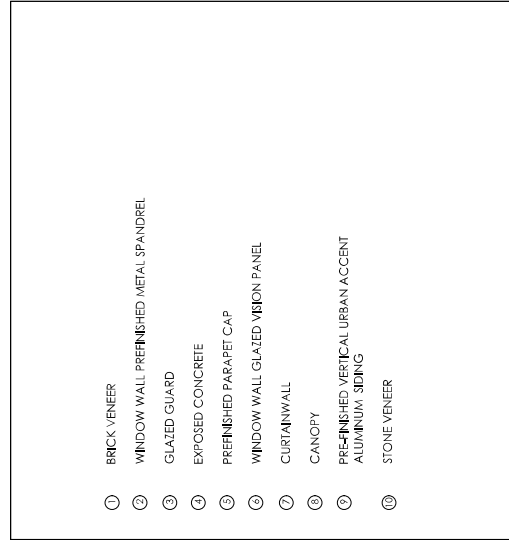
ROOF PLAN



1 NORTH ELEVATION



2 WEST ELEVATION



3 FACADE FINISHES LEGEND

Q WEST 9-STOREY APARTMENT BUILDING
CITAWA, ONTARIO

PROJECT: 9-STOREY APARTMENT BUILDING
CITAWA, ONTARIO

DATE: APRIL 2022

SCALE: 1:200

DRAWN BY: ISB

CHECKED BY: MDR

DATE: APRIL 2022

SCALE: 1:200

DRAWN BY: ISB

CHECKED BY: MDR

CONSTRUCTION NORTH

PROJECT: Q WEST 9-STOREY APARTMENT BUILDING
CITAWA, ONTARIO

DATE: APRIL 2022

SCALE: 1:200

DRAWN BY: ISB

CHECKED BY: MDR

ELEVATIONS

DATE: APRIL 2022

SCALE: 1:200

DRAWN BY: ISB

CHECKED BY: MDR

A11

REV. 01

1 BRICK VENEER

2 WINDOW WALL PREFINISHED METAL SPANDEL

3 GLAZED GUARD

4 EXPOSED CONCRETE

5 PREFINISHED PARAPET CAP

6 WINDOW WALL GLAZED VIBRON PANEL

7 CURTAIN WALL

8 CANOPY

9 PREFINISHED VERTICAL URBAN ACCENT ALUMINUM SIDING

10 STONE VENEER

CONSTRUCTION NORTH

1 THE CONSTRUCTION NORTH logo shall not be used in connection with any project unless it has been specifically approved by Construction North.

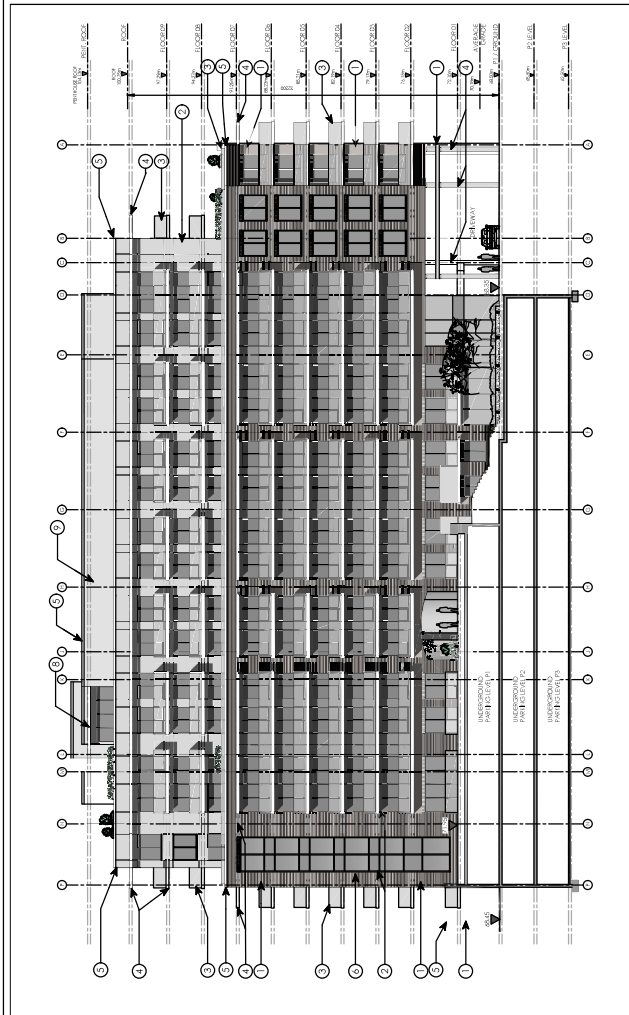
2 THE CONSTRUCTION NORTH logo shall not be used in connection with any project unless it has been specifically approved by Construction North.

3 THE CONSTRUCTION NORTH logo shall not be used in connection with any project unless it has been specifically approved by Construction North.

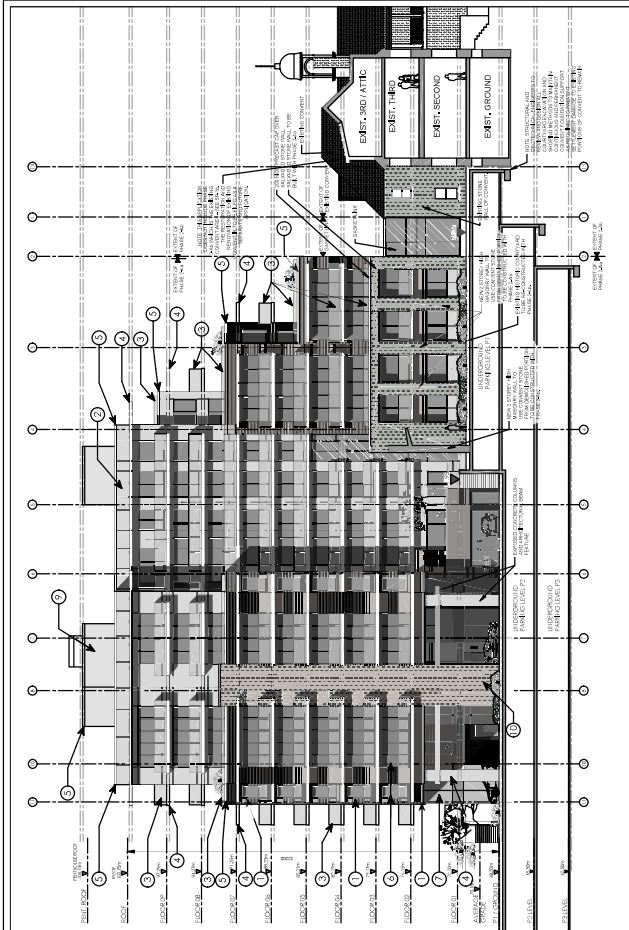
4 THE CONSTRUCTION NORTH logo shall not be used in connection with any project unless it has been specifically approved by Construction North.

M. David Blackely
Architect Inc.

2000 QUEEN ST. WEST, SUITE 400, TORONTO, ONT. M5G 1M3, CANADA
PHONE: (416) 593-8800 FAX: (416) 593-8801



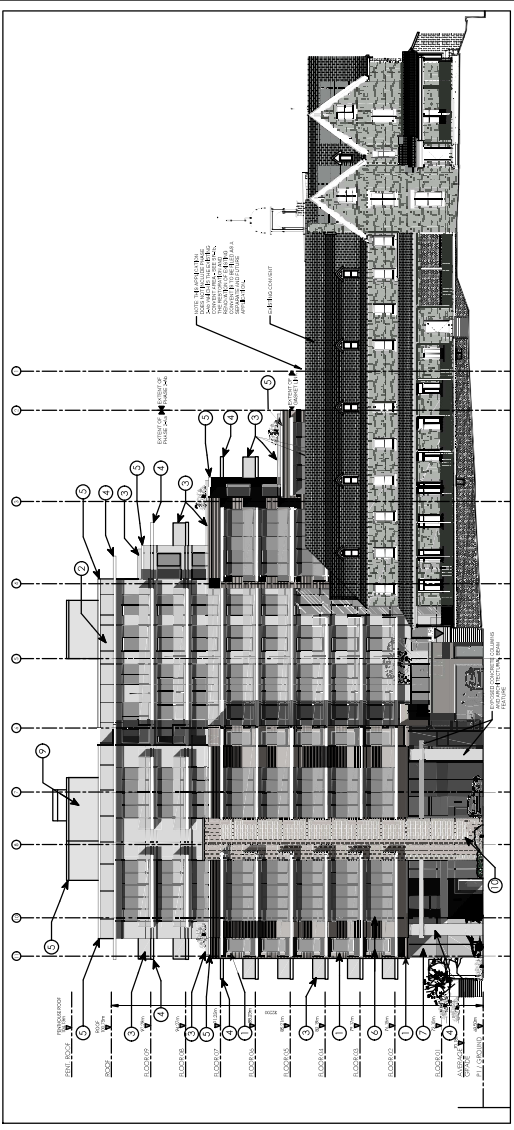
1 SOUTH ELEVATION
A12



2 EAST ELEVATION THROUGH HISTORIC COURTYARD
A12

Symbol	Material / Detail
1	BRICK VENEER
2	WINDOW WALL PREFINISHED METAL SPANDREL
3	GLAZED GUARD
4	EXPOSED CONCRETE
5	REFINISHED PARAPET CAP
6	WINDOW WALL GLAZED VIBRON PANEL
7	CURTAINWALL
8	CANOPY
9	REFINISHED VERTICAL URBAN ACCENT ALUMINUM SIDING
10	STONE VENEER

3 FACADE FINISHES LEGEND
A12



3 EAST ELEVATION
A12

<p>M. David Blakely Architect Inc. 1000 SHEPPARD AVENUE EAST, SUITE 100 SCARBOROUGH, ONTARIO M1S 1W5 TEL: (416) 291-1111 WWW.MDBA.COM</p>	<p>CONTRACTOR: CONSTRUCTION NORTH</p>	<p>PROJECT: 10 WEST BAY 9 STOREY APARTMENT BUILDING CITAWA, ONTARIO</p>	<p>DATE: APRIL 2022</p>	<p>SCALE: 1:100</p>	<p>REVISED BY: MDB</p>	<p>DESIGNED BY: ISB</p>	<p>PROJECT NO.: A12</p>	<p>REV. NO.: REV. 01</p>

GENERAL NOTES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SCARBOROUGH AND THE PROVINCE OF ONTARIO.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SCARBOROUGH AND THE PROVINCE OF ONTARIO.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SCARBOROUGH AND THE PROVINCE OF ONTARIO.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SCARBOROUGH AND THE PROVINCE OF ONTARIO.



**M. David Blakely
Architect Inc.**

2200 Prince of Wales Dr. Suite 101, Ottawa, Ontario
Phone (613) 226-8811 Fax (613) 226-7942 K2F 6P9

GENERAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC. IMMEDIATELY.
2. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, & BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE REQUIRED FOR THE PROTECTION OF WORK. SUCH DRAWINGS WILL BE PROVIDED BY THE ARCHITECT AND SHALL BE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THE REPRODUCTION SHALL NOT BE ALTERED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
7. THE DRAWINGS SHALL NOT BE USED FOR PERMITS OR AS A BASIS FOR CONTRACTS OR FOR ANY OTHER PURPOSES WITHOUT THE ARCHITECT'S SEAL AND SIGNATURE.

NO.	DATE	DESCRIPTION
12		
11		
10		
9		
8		
7		
6		
5		
4		
3	02/06/22	FOR PERMIT CONTROL
2	02/02/22	FOR STRUCTURAL REVIEW
1	01/27/22	FOR PRELIMINARY DESCRIPTION
0		

PROJECT: Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO

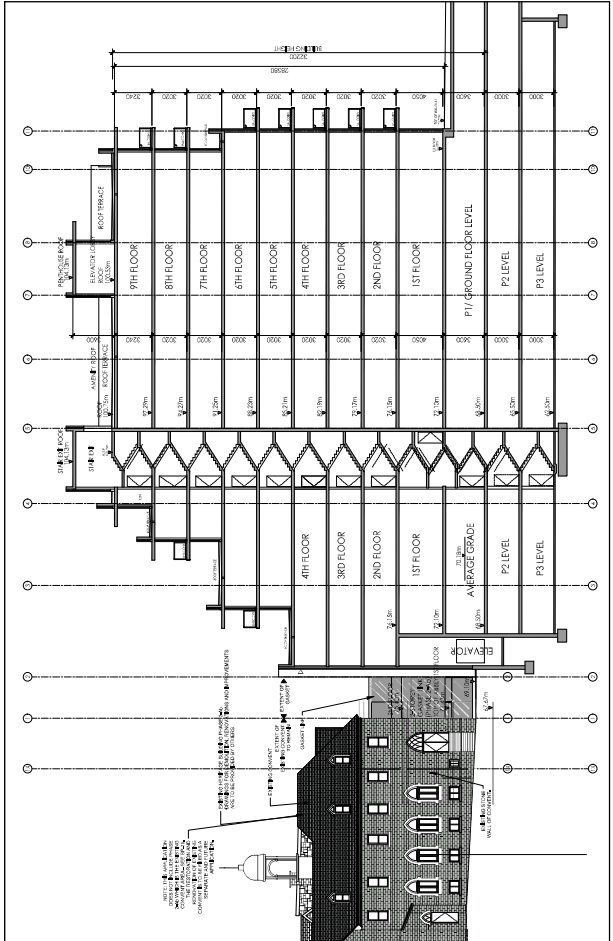


PROJECT: Q WEST BUILDING 'B' 9 STOREY APARTMENT BUILDING OTTAWA, ONTARIO

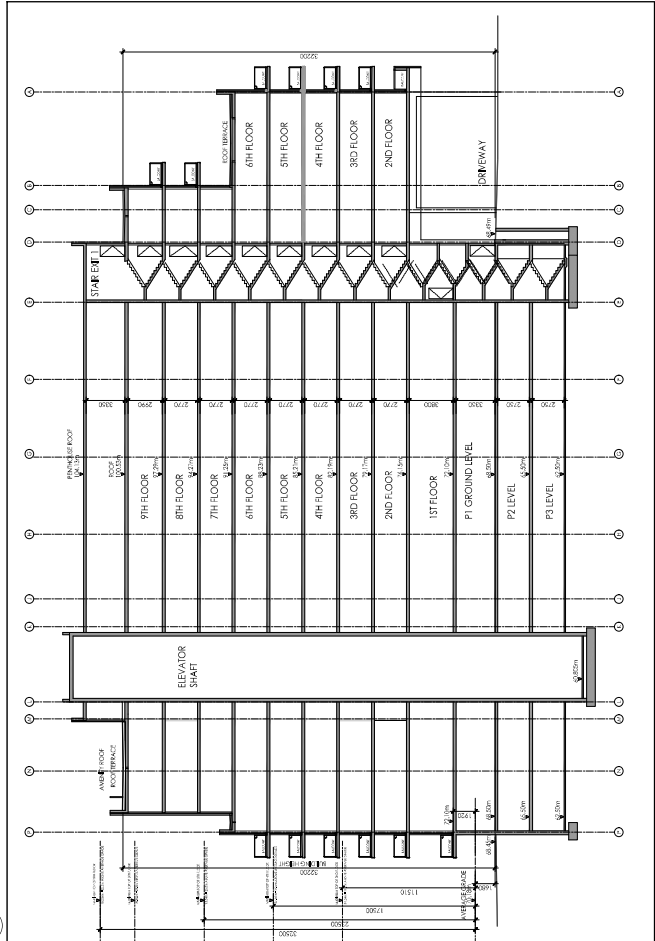


BUILDING SECTIONS

DATE: JAN 2022	SCALE: 1/200	DRAWN BY: NB	CHECKED: MDB
PROJECT NO: A13			REVISION: A



A13 BUILDING SECTION



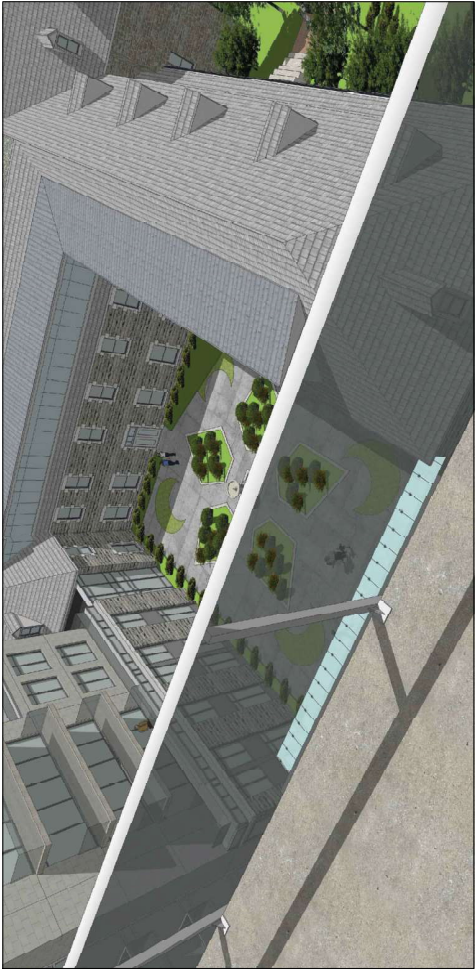
A14 BUILDING SECTION



Aerial View looking South West towards Convent



Aerial View looking South East towards Convent



Aerial View looking North from Building B
9 floor down balcony into Historic Courtyard.



Aerial View looking South from 108
Richmond Road onto Convent



View looking West from Entry Driveway to Convent



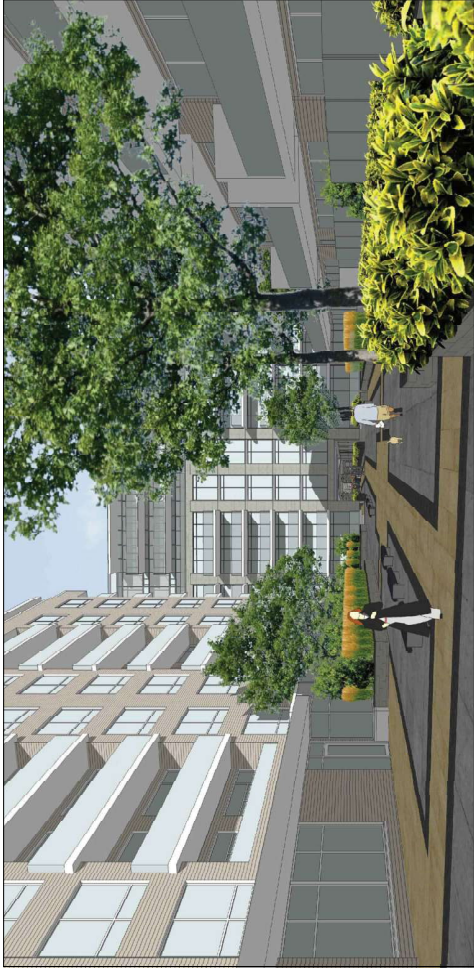
View looking East from School to Convent and Building B



View looking North West from Nun's Walkway to Convent



View looking North West from Nun's Walkway to Convent and Building B Entry and parking garage entrance



View looking North through Phase 2B Courtyard from Byron St.



View looking North through Phase 2B Courtyard to Building B covered walkway.



View looking North through Building B covered walkway towards Historic Courtyard.



View looking South through Historic Courtyard and Historic Masonry wall with Glass Canopy towards Building B.



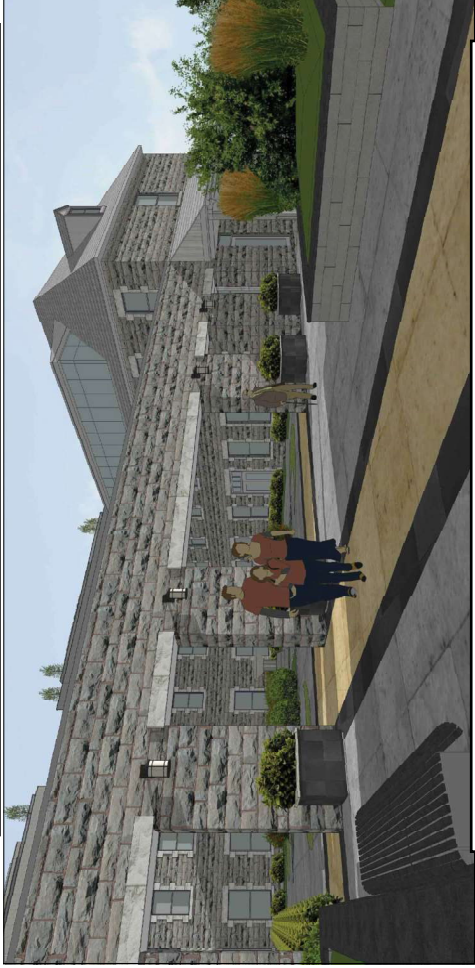
View looking South through historic courtyard towards Building B.



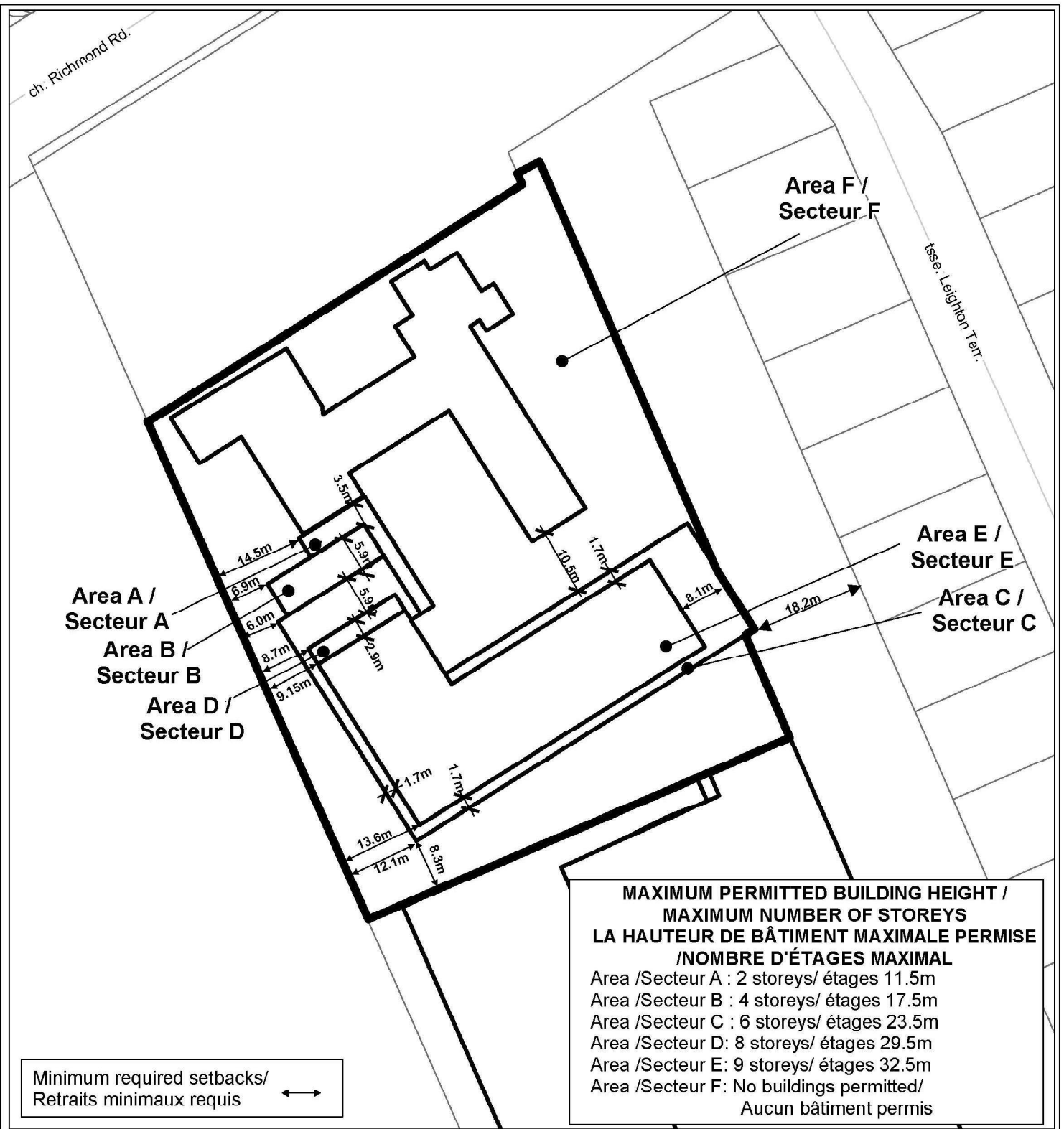
View looking West through historic courtyard towards Building B Heritage Masonry Wall and Gasket



View looking West through Building B courtyard towards Building B Curtainwall feature behind Heritage Masonry Wall and glass canopy feature.



View looking North through Building B courtyard towards Heritage Masonry Wall and Convent Historical Courtyard beyond.



D02-02-18-0053

19-0514-D

M:\Zoning_bylaw\Schedules

©Parcel data is owned by Teranet Enterprises Inc. and its suppliers
All rights reserved. May not be produced without permission
THIS IS NOT A PLAN OF SURVEY

©Parcel data appartient à Terranet Entreprises Inc. et à ses fournisseurs.
Tous droits réservés. Ne peut être reproduit sans autorisation.
CECI N'EST PAS UN PLAN D'ARPENTAGE

**This is Schedule 397 to Zoning By-law No. 2008-250
Annexe 397 au Règlement de zonage n° 2008-250**

This is Attachment 2 to By-law Number 2019-235, passed June 26, 2019
Pièce jointe n° 2 du Règlement municipal n° 2019-235, adopté le 26 juin 2019

