

ZONING NOTES

CURRENT ZONING: M16 (2063) F16(2) 5933-h + ILB (104) F12(2) H19.9)

DEVELOPMENT STATS		PROPOSED
LOT WIDTH		61.54m
LOT DEPTH		25.7m
UNITS		
TOTAL UNITS		452
PARKDALE SETBACK		VARIABLE MINIMUM 0.3m
ARMSTRONG SETBACK		VARIABLE MINIMUM 1.2m
HAMILTON SETBACK		1.2m
SPENCER SETBACK		1.2m
BUILDING HEIGHTS		
6 storey podium		21 m
38 storey tower		+/-121 m
BUILDING AREA		
RESIDENTIAL NET/GFA		+/- 271,071 sq.m. (291,775 sq.ft.)
COMMERCIAL (GROUND FLOOR) NET/GFA		+/- 954 sq.m. (3,070 sq.ft.)
RESTAURANT NET/GFA		+/- 285 sq.m. (3,070 sq.ft.)

NOTE: ALL EXISTING SITE INFORMATION AS PER SITE SURVEY PLAN DATED JANUARY 16, 2024 AND PREPARED BY STANTEC GEOMATICS LTD

UNIT RATIOS	PROPOSED	
TOTAL UNIT COUNT		452
STUDIOS	73	16%
1 BEDROOM	226	50%
2 BEDROOM	149	33%
3 BEDROOM	4	1%

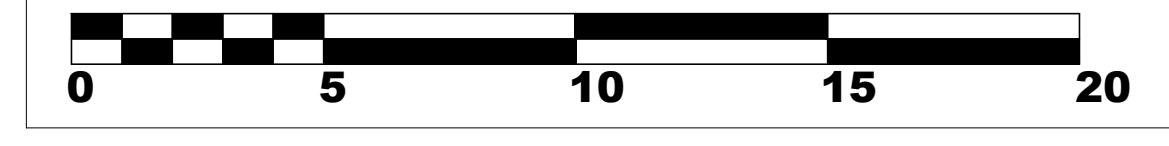
AMENITY SPACE REQUIREMENTS: 6 m² REQUIRED PER UNIT (452 X 6 SQ.M. = 2,712 SQ.M. REQUIRED TO BE AMENITY SPACE) (1,356 SQ.M. REQUIRED TO BE COMMON AMENITY SPACE)

PROVIDED AMENITY SPACE	
TOTAL AMENITY AREA	+/- 4,062 sq.m.
TOTAL PRIVATE AMENITY	+/- 2,606 sq.m.
TOTAL COMMON AMENITY	+/- 1,456 sq.m.
POPS AREA	+/- 847.6 sq.m.

VEHICLE PARKING	RESIDENTIAL	VISITOR	COMMERCIAL
REQUIRED: 0			
PROVIDED: 276 (0.61/UNIT)			
REQUIRED: 0			
PROVIDED: 30 (0.07/UNIT)			
REQUIRED: 0			
PROVIDED: 12			

BICYCLE PARKING

REQUIRED: 515
 PROVIDED: 515
 LOCATION: UNDERGROUND PARKING GARAGE AND GROUND FLOOR (INTERIOR), SOME SPACES WHERE REQUIRED ON THE EXTERIOR
 EXTERIOR (COMMERCIAL/VISITOR) = 25



LEGEND:

[Hatched Box] EXISTING BUILDING	MHO EXISTING MAN HOLE	CB [Square] EXISTING CATCH BASIN
[Dashed Line] FIRE ROUTE	[Circle with X] EXISTING TRAFFIC LIGHT	CB [Square] PROPOSED CATCH BASIN
	[Circle with T] CONC. CURB DETAIL TO CITY	[Circle with A] SIGNAGE FOR ACCESSIBLE PARKING SPACE
	[Circle with H] EXISTING FIRE HYDRANT	[Circle with F] SIGNAGE FOR FIRE ROUTE ACCESS
	[Circle with O] OF OTTAWA STANDARDS	[Circle with S] EXISTING SIGN
	[Circle with B] BIKE PARKING SPACE	[Circle with L] EXISTING LIGHT POLE
	[Circle with BL] EXISTING BOLLARD	[Circle with N] NEW LIGHT POLE
	[Circle with TSL] EXISTING TRAFFIC SIGNAL LIGHT	[Circle with O] PROPOSED WALL MOUNTED LIGHT
	[Circle with UP] EXISTING UTILITY POLE	[Circle with SL] EXISTING STREET LIGHTING BOX
		[Circle with TB] EXISTING TRAFFIC SIGNAL BOX



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no.	date	revision
3	26-05-15	RE-ISSUED FOR ZBA-03A
2	26-01-09	ISSUED FOR ZBA-03A
1	24-12-03	ISSUED FOR PRECONSULTATION

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT/LOCATION:
 340 PARKDALE
 OTTAWA ON.

DRAWING TITLE:
 SITE PLAN

DRAWN BY: [Name] **DATE:** 26-05-15 **SCALE:** 1:150

PROJECT: 2409

DRAWING NO.: A100

REVISION NO.: