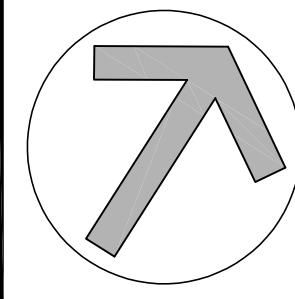


<u>PROJECT INFORMATION</u>			
TM [] S []	SITE AREA: 1994 SCOTT STREET	2,265.4 m ² 24,385 ft ²	
		<u>REQUIRED</u>	<u>PROVIDED</u>
BUILDING 'A1'		6 STOREY'S / 18.0m	40 STOREY'S / 136.0m
ON - ROOF TOP AMENITY LEVEL		0.0m	6.5m = 300.0m ²
LOOR SPACE INDEX		0.0	12.1
HECTARE		—	2,450
GUIDELINE ONLY) NOT INCLUDES BALCONIES		750m ²	790.6m ²
CK		TBD	3.0m
ETBACK - INTERIOR SIDE YARD		10.0m	3.0m
ETBACK - REAR YARD		10.0m	8.4m
UNIT COUNT		-	555
L (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT		ZONING AREA 'Y'	272
LY (AFTER 12 UNITS PER BLDG. MAX. 30) - 0.1 PER UNIT		30	30
AL (NOT REQUIRED FOR UNITS UNDER 500m ²)		0	19
SIDENTIAL - 0.5 PER UNIT		278	550
MERCIAL - 1 PER 250m ² GFA		- TO BE REVIEWED BY LANDSCAPE ARCH.	2
IMUM / MAXIMUM WIDTH		6.0m	6.0m
. PER UNIT - 6.0m ²		3,330.0m ²	3,340.0m ²
OMMUNAL PER UNIT - 3.0m ²		1,665.0m ²	1,980.0m ²
CE			
<u>BUILDING STATISTICS</u>			
<u>GROSS BUILDING - AREA</u> (CITY OF OTTAWA'S DEFINITION)			
COMMUNAL INTERIOR =		800.0 m ²	0.0 m ²
COMMUNAL TERRACE =		260.0 m ²	0 ft ²
COMMUNAL INTERIOR =		220.0 m ²	443.9 m ²
COMMUNAL TERRACE =		260.0 m ²	4,778 ft ²
COMMUNAL INTERIOR =		290.0 m ²	0.0 m ²
COMMUNAL TERRACE =		150.0 m ²	000 ft ²
PRIVATE BALCONIES =		1,360.0 m ²	
TOTAL =		3,340.0 m ²	2,226.3 m ²
TOTAL COMMUNAL =		1,980.0 m ²	23,964 ft ²
6.0m ² PER UNIT (555) =		3,330.0 m ²	2,490.7 m ²
0 COMMUNAL @ 50% =		1,665.0 m ²	26,810 ft ²
REMENT			
<u>UNIT STATISTICS</u>			
- 0.11 PER UNIT		61 YARDS	
- 0.018 PER UNIT		10 YARDS	
- 0.038 PER UNIT		21 YARDS	
- 240L PER 50 UNITS		11	
E			
<u>CAR PARKING</u>			
<u>REQUIRED by ZONING BY-LAW</u>			
RESIDENCE		- 0.5 PER DWELLING UNIT AFTER 12	272
VISITOR		- 0.1 PER DWELLING UNIT AFTER 12 (MAX. 30 PER BLDG.)	30
COMMERCIAL		- NOT REQUIRED FOR SMALL UNITS	0
TOTAL			302
<u>PROVIDED</u>			
RESIDENCE		- 0.48 PER UNIT	264
VISITOR		- 0.05 PER UNIT	30
COMMERCIAL			19
TOTAL			313
<u>LOCATION</u>			
P6 U/G PARKING LEVEL			55
P5 U/G PARKING LEVEL			53
P4 U/G PARKING LEVEL			53
P3 U/G PARKING LEVEL			53
P2 U/G PARKING LEVEL			53
P1 U/G PARKING LEVEL			46
TOTAL			313
<u>BICYCLE PARKING</u>			
<u>REQUIRED</u>			
RESIDENCE		- 0.5 PER UNIT	253
COMMERCIAL		- 1.0 PER 250m ² OF G.F.A.	2
TOTAL			255
<u>PROVIDED</u>			
RESIDENCE - INTERIOR		- 0.5 PER UNIT	542
RESIDENCE - EXTERIOR			8
COMMERCIAL - EXTERIOR			2
TOTAL			552
<u>LOCATION</u>			
P4 U/G PARKING LEVEL			87
P3 U/G PARKING LEVEL			87
P2 U/G PARKING LEVEL			87
P1 U/G PARKING LEVEL			63
GROUND FLOOR			37
MEZZANINE LEVEL			181
EXTERIOR AT GRADE			10
TOTAL			552
<u>IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.</u>			
<u>ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.</u>			
<u>THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.</u>			
<u>DO NOT SCALE DRAWINGS.</u>			
<u>COPYRIGHT RESERVED.</u>			
NOTATION SYMBOLS:			
INDICATES DRAWING NOTES, LISTED ON EACH SHEET. INDICATES ASSEMBLIE TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDUAL. INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES. INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES. DETAIL NUMBER TITLE SCALE DETAIL REFERENCE PAGE DETAIL CROSS REFERENCE PAGE			
BUILDING STATISTICS			
<u>TOTAL AREA</u>			
TOWER FLOOR PLATE			790.6 m ²
TOWER BALCONY PROJECTIONS			46.2 m ²
<u>RESIDENTIAL AREA</u>			
COMMERCIAL AREA			444.5 m ²
CITY OF OTTAWA'S DEFINITION			4,784 ft ²
<u>REVISIONS:</u>			
7			
6			
5		ISSUED FOR OPA & ZBLA APPLICATION	2025 12 1
4		UPDATED AS PER CIVIL COORDINATION	2025 12 0
3		GENERAL REVISION: ISSUED FOR REVIEW	2025 11 1
2		ISSUED FOR OWNER / CONSULTANT REVIEW	2025 09 1
1		ISSUED FOR OWNER / CONSULTANT REVIEW	2025 07 0
No.		DESCRIPTION	DATE
<u>ARCHITECT SEAL:</u>			
 KEVIN M. REID LICENCE 8667		NORTH ARROW:	
SEAL DATE: STAMP DATE			
CLIENT:			
 WESTBORO VILLAGE			
ARCHITECT:			
rla / architecture roderick lahey architect inc. 56 beech street, ottawa, ontario K1S 3J6 t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca			
PROJECT TITLE:			
1994 SCOTT STREET			
OTTAWA ONTARIO			
SHEET TITLE:			
SITE PLAN			
1994 SCOTT STREET BUDG. - A1			
DRAWN: R.V.			
CHECKED: F.R.			
SCALE: 1:125			
PROJECT No. 2409			
SHEET No. SP-2			

INTRODUCTIONS

- TATION SYMBOLS.
- ICATES DRAWING NOTES, LISTED ON EACH EET.
- ICATES ASSEMBLIE TYPE; REFER TO TYPICAL SEMBLIES SCHEDUAL.
- ICATES WINDOW TYPE; REFER TO WINDOW EVATIONS AND DETAILS ON A900 SERIES.
- ICATES DOOR TYPE; REFER TO DOOR HEDULE AND DETAILS ON A900 SERIES.
- DETAIL NUMBER
- E _____ SCALE
- DETAIL REFERENCE PAGE
- TAIL CROSS REFERENCE PAGE

FOR OPA & ZBLA APPLICATION	2025 12 1
ED AS PER CIVIL COORDINATION	2025 12 0
AL REVISION: ISSUED FOR REVIEW	2025 11 1
FOR OWNER / CONSULTANT REVIEW	2025 09 1
FOR OWNER / CONSULTANT REVIEW	2025 07 0
PTION	DATE
SEAL: ASSOCIATION OF HITECTS N.M. REID ENCE 8667 STAMP DATE	NORTH ARROW: 

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h street, ottawa, ontario K1S 3J6
19932 f 613 724 1209 rlarchitecture.ca

SCOTT STREET

ONTARIO

94 SCOTT STREET
BUDG. - A1

SHEET No.

