



PROJECT INFORMATION			
Zoning By-law: 2008-250 Consolidation		TM (102) R4UB	SITE AREA: 1994 SCOTT ST. 2,265.4 m ² 24,385 ft ²
			SITE AREA: 324 TWEEDSMUIR AVE. 1,332.9 m ² 14,347 ft ²
SITE AREA: TOTAL ALL PARCELS		0.77 ha 7,733.7 m ² 83,245 ft ²	SITE AREA: 330 ATHLONE AVE. 1,650.3 m ² 17,764 ft ²
			SITE AREA: 335 TWEEDSMUIR AVE. 2,485.1 m ² 26,749 ft ²
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A1'	6 STOREYS / 18.0m	40 STOREYS / 136.0m
	BUILDING 'A2'	15.0m	4 STOREYS / 15.0m
	BUILDING 'B'	15.0m	29 STOREYS / 99.0m
	BUILDING 'C'	15.0m	29 STOREYS / 99.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		--	6.5m + 300.0m ²
DENSITY - MAXIMUM FLOOR SPACE INDEX		--	8.32
DENSITY - UNITS PER HECTARE		--	1,566
MINIMUM LOT AREA (CORNER AND INTERIOR LOTS)		1,150.0m ² & 1,350.0m ²	----
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE AND REAR YARD		10.0m	----
TOTAL RESIDENTIAL UNIT COUNT		--	1,206
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT		PARKING AREA "Y" - 579	91
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT			47
PARKING - COMMERCIAL (VARIES WITH USE) - 1.0 to 10.0 PER 100m ² GFA			0
PARKING - RESIDENTIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 1.75 PER UNIT		2,111	472
PARKING - COMMERCIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 3.6 PER 100m ² GFA		28	42
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		545	1,273
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA		3	6
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH		6.0m	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		7,236.0m ²	10,420m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		3,618.0m ²	5,000m ²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL / 2% COMMERCIAL		773.4m ²	780.4 m ²

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

BUILDING STATISTICS

BUILDING 'A1' - 40 Storey's	
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	27,315.5 m ²
TOWER FOOTPRINT	294,022 ft ²
UNIT COUNT	555
VEHICLE PARKING	294 + 19 = 313
BICYCLE PARKING	542 + 8 = 550
COMMERCIAL AREA	466.6 m ² 5,023 ft ²

BUILDING 'A2' - 4 Storey's	
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)	2,321.9 m ²
TOWER FOOTPRINT	24,993 ft ²
UNIT COUNT	43
VEHICLE PARKING	0 + 0 = 0
BICYCLE PARKING	65 + 2 = 67
COMMERCIAL AREA	0 m ² 0 ft ²

BUILDING 'B' - 29 Storey's	
TOTAL BUILDING AREA (CITY OF OTTAWA ZONING AREA)	15,852.2 m ²
TOWER FOOTPRINT	170,632 ft ²
UNIT COUNT	290
VEHICLE PARKING - RESIDENTIAL ONLY	144 + 0 = 144
BICYCLE PARKING	318 + 14 = 332
COMMERCIAL / AMENITY AREA	321.9 m ² 3,465 ft ²

BUILDING 'C' - 29 Storey's	
TOTAL BUILDING AREA (CITY OF OTTAWA ZONING AREA)	18,881.6 m ²
TOWER FOOTPRINT	203,240 ft ²
UNIT COUNT	318
VEHICLE PARKING - RESIDENTIAL ONLY	152 + 0 = 152
BICYCLE PARKING	322 + 0 = 322
COMMERCIAL AREA	0 m ² 0 ft ²

BUILDING AREA (CITY OF OTTAWA ZONING AREA)	
BUILDING 'A'	27,315.5 m ²
BUILDING 'A1'	294,022 ft ²
BUILDING 'B'	15,852.2 m ²
BUILDING 'C'	18,881.6 m ²
TOTAL AREA ABOVE GRADE	64,310.6 m ² 692,235 ft ²

UNIT MIX	
STUDIO UNIT	142
1 BEDROOM + UNIT	263
2 BEDROOM + UNIT	104
3 BEDROOM + UNIT	6
TOTAL UNITS	555
COMMERCIAL AREA	788.6 sq. m. 8,488 sq. ft.

CAR PARKING AREA "X" on SCHEDULE 1A	
MINIMUM REQUIRED	
RESIDENCE (AFTER 12 UNITS) - 0.5 PER DWELLING UNIT	579
VISITOR (AFTER 12 UNITS) - 0.1 PER DWELLING UNIT	91
COMM. USE - UNDER 200m ² NON REQUIRED	0
TOTAL	670
MAXIMUM REQUIRED	
RESIDENCE - 1.75 PER DWELLING UNIT	2,111
COMM. USE - 3.6 PER 100m ² OF GFA - ESTIMATE	28
TOTAL	2,139
PROVIDED	
RESIDENCE - 0.38 PER DWELLING UNIT	477
VISITOR	91
COMM. USE	42
TOTAL	609

BICYCLE PARKING	
REQUIRED	
RESIDENCE - 0.5 PER UNIT (1,206 UNITS)	603
COMMERCIAL - 1 PER 250m ² GFA (788.6m ²)	3
TOTAL	606
PROVIDED	
RESIDENCE - 1.04 PER UNIT	1,267
COMMERCIAL	6
PARKLAND	6
TOTAL	1,279

LOT COVERAGE	
BUILDING FOOTPRINT - "A1"	1,158.4 m ² 15.0%
BUILDING FOOTPRINT - "A2"	660.2 m ² 8.5%
BUILDING FOOTPRINT - "B"	768.0 m ² 9.9%
BUILDING FOOTPRINT - "C"	1,007.7 m ² 13.0%
DRIVING SURFACE	63.3 m ² 0.8%
LANDSCAPE SURFACE	3,294.7 m ² 42.6%
PARKLAND DEDICATION	780.4 m ² 10.0%
TOTAL	7,733.7 m ² 100.0%
LANDSCAPE SURFACE AREA INCLUDES: ROW, POPS AND CORNER SITE TRIANGLE	

AMENITY SPACE	
AT GRADE EXTERIOR - COMMUNAL	600.0 sq. m.
INTERIOR 1st fl. AMENITY - COMMUNAL	450.0 sq. m.
EXTERIOR TERRACES - PRIVATE	500.0 sq. m.
INTERIOR 5th fl. AMENITY - COMMUNAL	900.0 sq. m.
EXTERIOR 5th fl. TERRACES - COMMUNAL	1,200.0 sq. m.
EXTERIOR ROOF TOP - COMMUNAL	300.0 sq. m.
INTERIOR ROOF TOP - COMMUNAL	600.0 sq. m.
PRIVATE BALCONIES	4,000.0 sq. m.
TOTAL	8,550.0 sq. m.
TOTAL COMMUNAL	4,050.0 sq. m.
REQUIRED - 6.0m ² PER UNIT (1,206)	7,236.0 sq. m.
REQUIRED COMMUNAL @ 50%	3,618.0 sq. m.

LAND BLOCK AREA	
BUILDING "A1"	2,285.4 m ² 29.4%
BUILDING "A2"	1,332.9 m ² 17.2%
BUILDING "B"	1,650.3 m ² 21.3%
BUILDING "C"	1,704.7 m ² 22.1%
PARKLAND DEDICATION	780.4 m ² 10.0%
TOTAL	7,733.7 m ² 100.0%

1 OVERALL SITE PLAN

SCALE = 1 : 250

0m 5 10 25

SCALE 1: 250

WESTBORO VILLAGE

OTTAWA ONTARIO

SHEET TITLE:

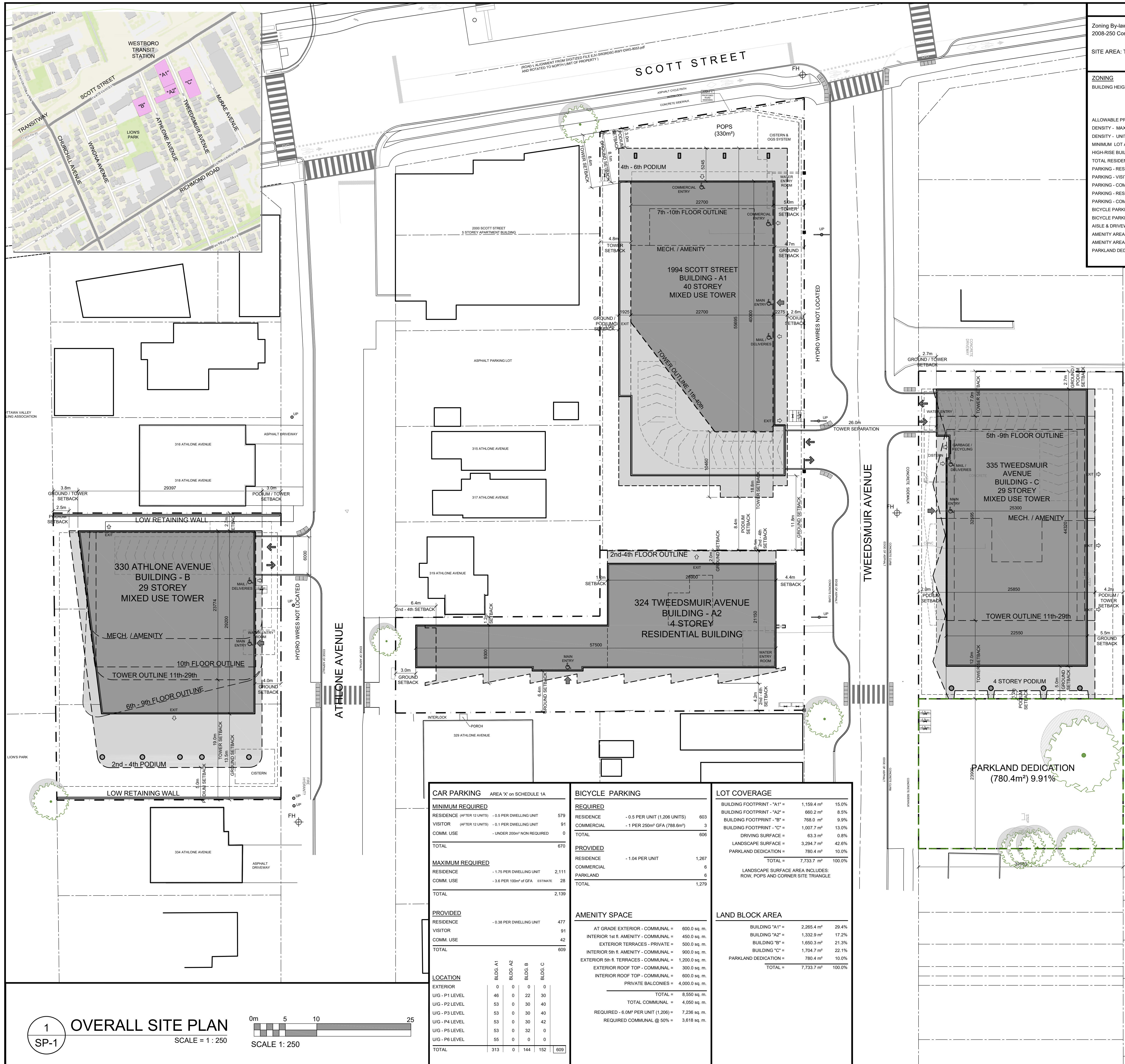
OVERALL SITE PLAN

DRAWN: R.V. CHECKED: K.R.

SCALE: 1:250 SHEET No.

PROJECT No. 2409

SP-1



PROJECT INFORMATION				
Zoning By-law: 2008-250 Consolidation		TM 102 RA4B	SITE AREA: 1994 SCOTT ST. 2,285.4 m ² 24,385' ft ²	
			SITE AREA: 324 TWEEDSMUIR AVE. 1,332.9 m ² 14,347' ft ²	
SITE AREA: TOTAL ALL PARCELS 0.77 ha.		7,733.7 m ² 83,245' ft ²	SITE AREA: 330 ATLHONE AVE. 1,650.3 m ² 17,764' ft ²	
			SITE AREA: 335 TWEEDSMUIR AVE. 2,485.1 m ² 26,749' ft ²	
ZONING			REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A1'		6 STOREYS / 18.0m	40 STOREYS / 136.0m
	BUILDING 'A2'		15.0m	4 STOREYS / 15.0m
	BUILDING 'B'		15.0m	29 STOREYS / 99.0m
	BUILDING 'C'		15.0m	29 STOREYS / 99.0m
ALLOWABLE PROJECTION - AMENITY LEVEL			--	6.5m = 300.0m'
DENSITY - MAXIMUM FLOOR SPACE INDEX				8.36
DENSITY - UNITS PER HECTARE				1,852
MINIMUM LOT AREA (CORNER AND INTERIOR LOTS)		1,150.0m ² & 1,350.0m ²		---
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE AND REAR YARD		10.0m		---
TOTAL RESIDENTIAL UNIT COUNT				1,206
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT			PARKING AREA "Y" 579	477
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT			91	91
PARKING - COMMERCIAL (VARIES WITH USE) - 1.0 to 1.0 PER 100m ² GFA			0	42
PARKING - RESIDENTIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 1.75 PER UNIT		2,111	2,111	477
PARKING - COMMERCIAL (MAXIMUM NEAR RAPID TRANSIT STATIONS) 3.6 PER 100m ² GFA		288	288	477
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		545	545	1,273
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA				6
ALSE & DRIVEWAY MINIMUM / MAXIMUM WIDTH			6.0m	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		7,236.0m ²		10,420m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		3,618.0m ²		5,000m ²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL / 2% COMMERCIAL		773.4m ²		780.4 m ²

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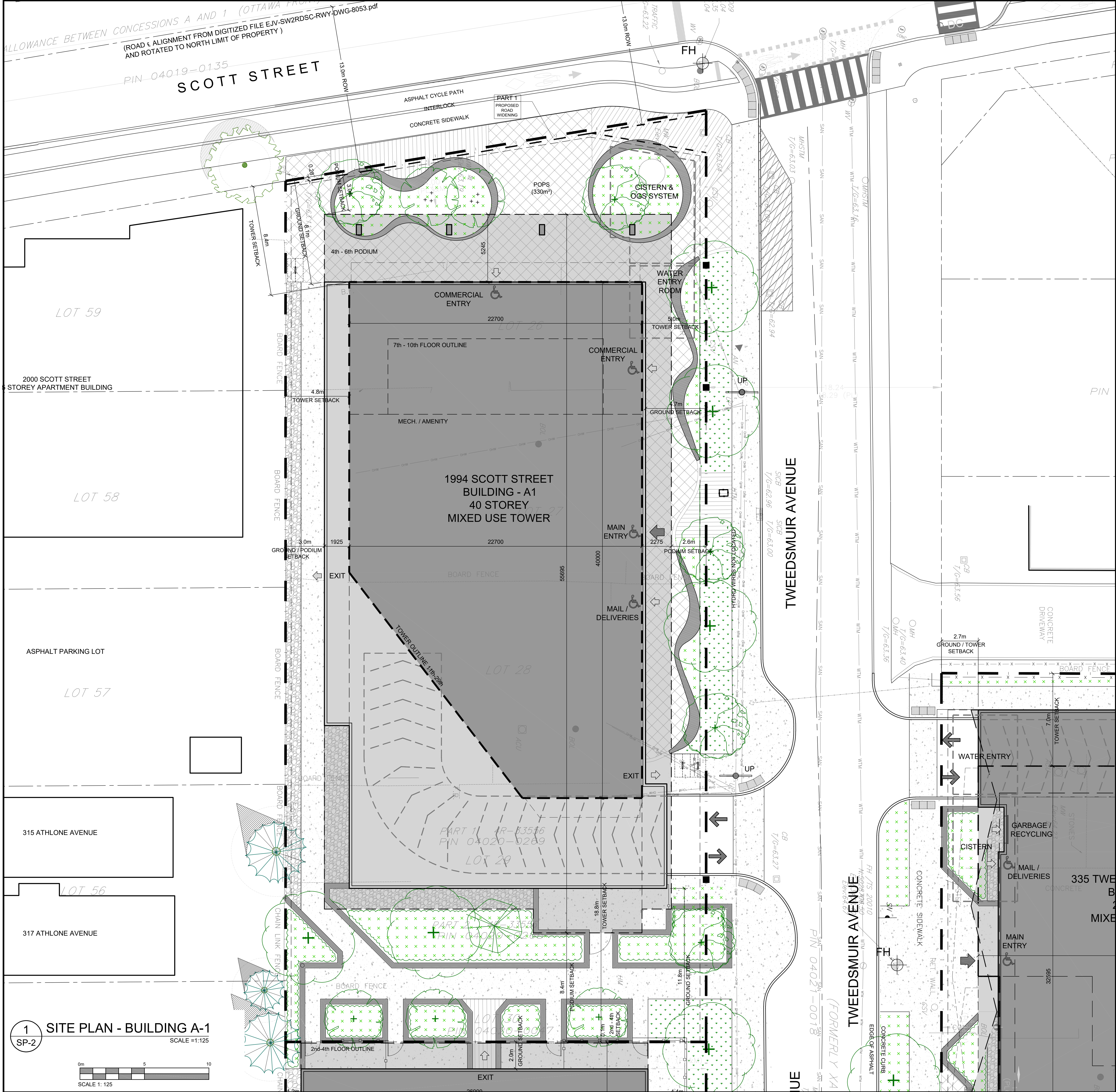
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	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
	DETAIL NUMBER
	TITLE
	NOTE
	DETAIL REFERENCE PAGE
	DETAIL CROSS REFERENCE PAGE

BUILDING STATISTICS									
BUILDING 'A1' - 40 Storeys									
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)					27,315.5 m ² 294,022 ft ²				
TOWER FOOTPRINT					837.0 m ² 9,007 ft ²				
UNIT COUNT					555				
VEHICLE PARKING					204 + 19				
BICYCLE PARKING					542 + 8				
COMMERCIAL AREA					466.6 m ² 5,023 ft ²				
BUILDING 'A2' - 4 Storeys									
GROSS BUILDING AREA (CITY OF OTTAWA ZONING AREA)					2,321.9 m ² 24,993 ft ²				
TOWER FOOTPRINT					-99.3 m ² -1 ft ²				
UNIT COUNT					43				
VEHICLE PARKING					0 + 0				
BICYCLE PARKING					65 + 2				
COMMERCIAL AREA					0 m ² 0 ft ²				
BUILDING 'B' - 29 Storeys									
TOTAL BUILDING AREA (CITY OF OTTAWA ZONING AREA)					15,852.2 m ² 170,632 ft ²				
TOWER FOOTPRINT					196.0 m ² 2,112 ft ²				
UNIT COUNT					290				
VEHICLE PARKING - RESIDENTIAL ONLY					144 + 0				
BICYCLE PARKING					318 + 14				
COMMERCIAL / AMENITY AREA					321.9 m ² 3,465 ft ²				
BUILDING 'C' - 29 Storeys									
TOTAL BUILDING AREA (CITY OF OTTAWA ZONING AREA)					18,881.6 m ² 203,240 ft ²				
TOWER FOOTPRINT					862.0 m ² 9,260 ft ²				
UNIT COUNT					152				
VEHICLE PARKING - RESIDENTIAL ONLY					152 + 0				
BICYCLE PARKING					322 + 0				
COMMERCIAL AREA					0 m ² 0 ft ²				
BUILDING AREA									
(CITY OF OTTAWA ZONING AREA)									
BUILDING 'A'					27,315.5 m ² 294,022 ft ²				
BUILDING 'A1'					2,261.1 m ² 24,339 ft ²				
BUILDING 'B'					15,852.2 m ² 170,632 ft ²				
BUILDING 'C'					18,881.6 m ² 203,240 ft ²				
TOTAL AREA ABOVE GRADE					64,310.6 m ² 692,233 ft ²				
UNIT MIX									
STUDIO UNIT	BLDG. A1	BLDG. A2	BLDG. B	BLDG. C	Σ	TOTAL			
1 BEDROOM UNIT	142	11	82	79	24.9%	301			
1 BEDROOM + UNIT	283	11	88	79	38.2%	461			
2 BEDROOM UNIT	104	10	57	94	15.7%	186			
2 BEDROOM + UNIT	0	1	29	33	5.2%	63			
3 BEDROOM UNIT	6	0	4	6	1.3%	16			
TOTAL UNITS	555	43	290	318		1,206			
COMMERCIAL AREA					788.6 m ² 8,488 sq. ft.				

[illegible]



PROJECT INFORMATION			
Zoning By-law:	2008-250 Consolidation	SITE AREA: 1994 SCOTT STREET	2,265.4 m ² 24,385 ft ²
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A1'	6 STOREYS / 18.0m	40 STOREYS / 136.0m
ALLOWABLE PROJECTION - ROOF TOP AMENITY LEVEL		0.0m	6.5m = 300.0m ²
DENSITY - MAXIMUM FLOOR SPACE INDEX		0.0	12.1
DENSITY - UNITS PER HECTARE		—	2,450
TOWER FOOTPRINT (GUIDELINE ONLY) NOT INCLUDES BALCONIES		750m ²	790.6m ²
FRONT YARD SETBACK		TBD	3.0m
CORNER YARD SETBACK		TBD	2.6m
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE YARD		10.0m	3.0m
HIGH-RISE BUILDING SETBACK - REAR YARD		10.0m	8.4m
TOTAL RESIDENTIAL UNIT COUNT		-	555
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA 'A'	272	264
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG. MAX. 30) - 0.1 PER UNIT		30	30
PARKING - COMMERCIAL (NOT REQUIRED FOR UNITS UNDER 500m ²)		0	19
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		278	550
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² G.F.A.	TO BE REVIEWED BY LANDSCAPE ARCHT.	2	2
WALKWAY MINIMUM / MAXIMUM WIDTH		6.0m	6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		3,330.0m ²	3,340.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		1,665.0m ²	1,980.0m ²

AMENITY SPACE		BUILDING STATISTICS	
7th FLOOR COMMUNAL INTERIOR = 800.0 m ²		GROSS BUILDING - AREA	
7th FLOOR COMMUNAL TERRACE = 260.0 m ²		(CITY OF OTTAWA'S DEFINITION)	
11th FLOOR COMMUNAL INTERIOR = 220.0 m ²		PARKING LEVEL	
11th FLOOR COMMUNAL TERRACE = 260.0 m ²		GROUND FLOOR	
ROOF TOP COMMUNAL TERRACE = 150.0 m ²		MEZZANINE LEVEL	
PRIVATE BALCONIES = 1,360.0 m ²		2nd & 3rd FLOOR	
TOTAL = 3,340.0 m ²		8th - 10th FLOOR	
TOTAL COMMUNAL = 1,980.0 m ²		11th FLOOR - AMENITY	
REQUIRED - 6.0m ² PER UNIT (555) = 3,330.0 m ²		12th - 40th FLOOR	
REQUIRED COMMUNAL @ 50% = 1,665.0 m ²		ROOF TOP AMENITY / MECHANICAL	
		TOTAL AREA	
		TOWER FLOOR PLATE	
		TOWER BALCONY PROJECTIONS	

WASTE REQUIREMENT		LOT COVERAGE	
GARBAGE	- 0.11 PER UNIT	61 YARDS	
RECYCLING GMP	- 0.018 PER UNIT	10 YARDS	
RECYCLING FIBER	- 0.038 PER UNIT	21 YARDS	
COMPOST	- 240L PER 50 UNITS	11	
		CORNER SITE TRIANGLE	
		ROW	
		POPS	
		PAVED SURFACE	
		BUILDING FOOTPRINT	
		LANDSCAPE OPEN SPACE	
		TOTAL	

CAR PARKING		UNIT STATISTICS	
REQUIRED BY ZONING BY-LAW		STUDIO UNIT	
RESIDENCE - 0.5 PER DWELLING UNIT AFTER 12		1 BEDROOM UNIT	
VISITOR - 0.1 PER DWELLING UNIT AFTER 12		1 BEDROOM + DEN UNIT	
COMMERCIAL - NOT REQUIRED FOR SMALL UNITS		2 BEDROOM UNIT	
		2 BEDROOM + DEN UNIT	
		3 BEDROOM UNIT	
		TOTAL	
		RESIDENTIAL AREA	
		COMMERCIAL AREA	
		CITY OF OTTAWA'S DEFINITION	

BICYCLE PARKING		LOCATION	
REQUIRED		P6 U/G PARKING LEVEL	
RESIDENCE - 0.5 PER UNIT		P5 U/G PARKING LEVEL	
COMMERCIAL - 1.0 PER 250m ² OF G.F.A.		P4 U/G PARKING LEVEL	
		P3 U/G PARKING LEVEL	
		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		TOTAL	
		P6 U/G PARKING LEVEL	
		P5 U/G PARKING LEVEL	
		P4 U/G PARKING LEVEL	
		P3 U/G PARKING LEVEL	
		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		TOTAL	

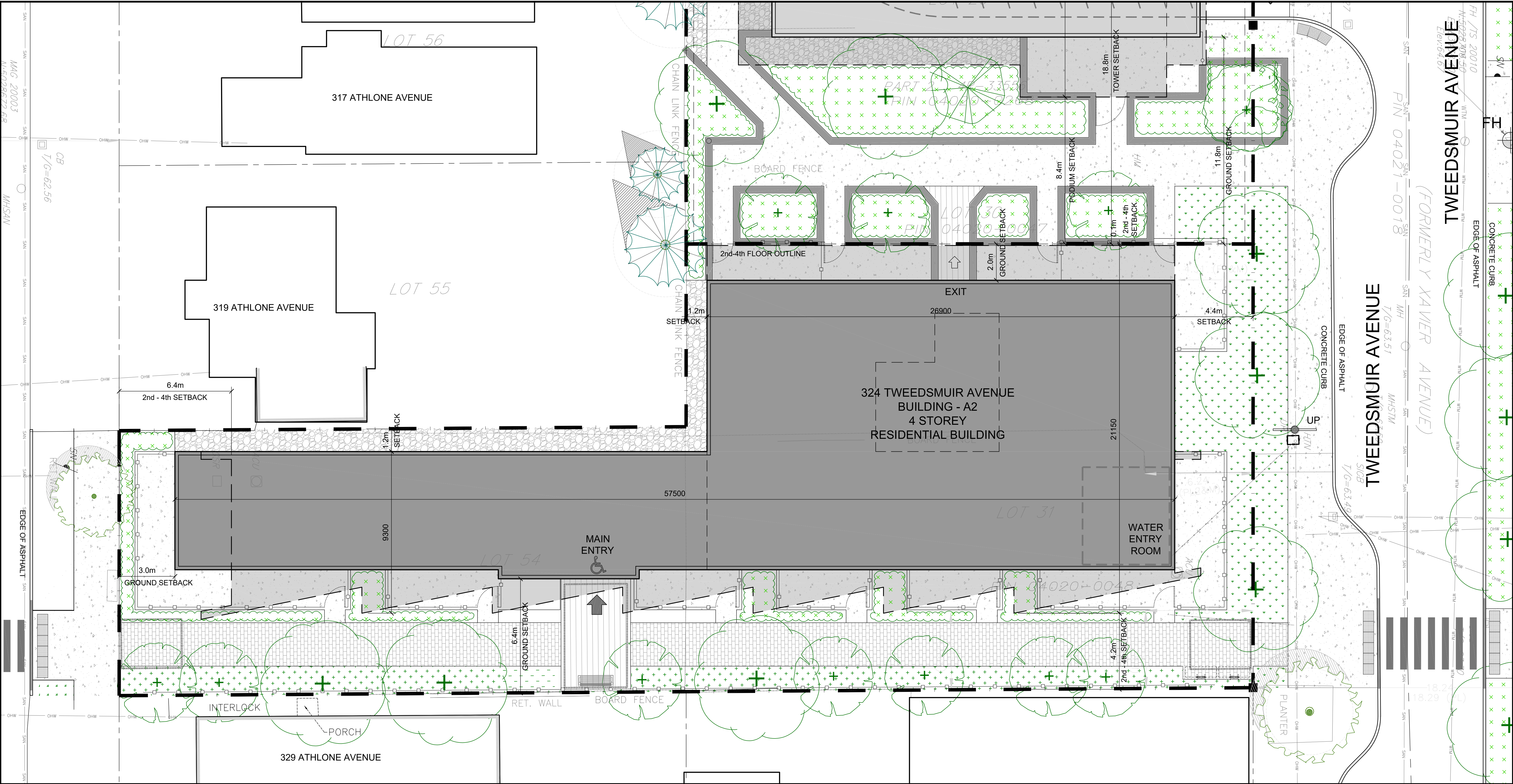
BICYCLE PARKING		LOCATION	
REQUIRED		P4 U/G PARKING LEVEL	
RESIDENCE - 0.5 PER UNIT		P3 U/G PARKING LEVEL	
COMMERCIAL - 1.0 PER 250m ² OF G.F.A.		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		GROUND FLOOR	
		MEZZANINE LEVEL	
		EXTERIOR AT GRADE	
		TOTAL	

BICYCLE PARKING		LOCATION	
REQUIRED		P4 U/G PARKING LEVEL	
RESIDENCE - 0.5 PER UNIT		P3 U/G PARKING LEVEL	
COMMERCIAL - 1.0 PER 250m ² OF G.F.A.		P2 U/G PARKING LEVEL	
		P1 U/G PARKING LEVEL	
		GROUND FLOOR	
		MEZZANINE LEVEL	
		EXTERIOR AT GRADE	
		TOTAL	

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(A)	INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
(W)	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
(D)	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
(C)	DETAIL NUMBER
(R)	TITLE
(S)	DETAIL REFERENCE PAGE
(X)	DETAIL CROSS REFERENCE PAGE

ISSUED FOR OPA & ZBLA APPLICATION		2025 12 12
UPDATED AS PER CIVIL COORDINATION		2025 12 09
GENERAL REVISION: ISSUED FOR REVIEW		2025 11 17
ISSUED FOR OWNER / CONSULTANT REVIEW		2025 09 12
ISSUED FOR OWNER / CONSULTANT REVIEW		2025 07 04
No.	DESCRIPTION	DATE
REVISIONS:		
ARCHITECT SEAL:		
NORTH ARROW:		

CLIENT:	
WESTBORO VILLAGE	
ARCHITECT:	
rla / architecture	
roderick lahey architect inc.	
56 beech street, ottawa, ontario K1S 3J6	
t: 613.724.9932 f: 613.724.1209 rla@architecture.ca	
PROJECT TITLE:	
1994 SCOTT STREET	
OTTAWA	
SHEET TITLE:	
SITE PLAN	
1994 SCOTT STREET	
BUDG. - A1	
DRAWN:	
R.V.	
CHECKED:	
F.R.	
SCALE:	
1:125	
SHEET No.	
PROJECT No.	
2409	
SP-2	



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- DETAIL NUMBER
- TITLE
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- DETAIL CROSS REFERENCE PAGE

No.	DESCRIPTION	DATE
1	ISSUED FOR OPA & ZBLA APPLICATION	2025 12 12
2	UPDATED AS PER CIVIL COORDINATION	2025 12 09
3	GENERAL REVISION: ISSUED FOR REVIEW	2025 11 17
4	ISSUED FOR OWNER / CONSULTANT REVIEW	2025 09 12
5	ISSUED FOR OWNER / CONSULTANT REVIEW	2025 07 17

REVISIONS:

ARCHITECT SEAL:

NORTH ARROW:

1 SITE PLAN: BUILDING A-2
SCALE = 1:100

SCALE 1: 100

PAPER SIZE: ISO_B1_(707.00_x_1000.00_MM)

PLOT DATE: Thursday, December 11, 2025

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

AMENITY SPACE		
GROUND FLOOR PRIVATE TERRACE =	200.0 m²	
ROOF TOP COMMUNAL TERRACE =	240.0 m²	
PRIVATE BALCONIES =	70.0 m²	
TOTAL =	510.0 m²	
TOTAL COMMUNAL =	240.0 m²	
REQUIRED - 6.0m² PER UNIT (43) =	258.0 m²	
REQUIRED COMMUNAL @ 50% =	129.0 m²	
WASTE REQUIREMENT		
GARBAGE	- 0.11 PER UNIT	5 YARDS
RECYCLING GMP	- 0.018 PER UNIT	1 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	2 YARDS
COMPOST	- 240L PER 50 UNITS	1
LOT COVERAGE		
PAVED SURFACE	0.0 m²	0.00%
BUILDING FOOTPRINT	660.2 m²	49.53%
LANDSCAPE OPEN SPACE	672.7 m²	50.47%
TOTAL	1,332.9 m²	100.0%

CAR PARKING		
REQUIRED by ZONING BY-LAW		
RESIDENCE	- 0.5 PER DWELLING UNIT AFTER 12	16
VISITOR	- 0.1 PER DWELLING UNIT AFTER 12	3
TOTAL		19
PROVIDED		
RESIDENCE	- 0.0 PER UNIT	0
VISITOR	- 0.0 PER UNIT	0
TOTAL		0
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT	22
PROVIDED		
RESIDENCE - INTERIOR	- 0.5 PER UNIT	65
RESIDENCE - EXTERIOR	- TO BE REVIEWED BY LANDSCAPE ARCH	2
TOTAL		67

BUILDING STATISTICS		
GROSS BUILDING - AREA		
(CITY OF OTTAWA'S DEFINITION)		
GROUND FLOOR	475.8 m²	5,121 ft²
2nd FLOOR	615.4 m²	6,624 ft²
3rd - 4th FLOOR	2 x 615.4m²	1,230.8 m²
5th FLOOR - AMENITY	2 x 6,624 ft²	13,248 ft²
TOTAL AREA	2,322.0 m²	24,993 ft²
UNIT STATISTICS		
STUDIO UNIT	14.0%	6
1 BEDROOM UNIT	25.6%	11
1 BEDROOM + DEN UNIT	34.9%	15
2 BEDROOM UNIT	23.2%	10
2 BEDROOM + DEN UNIT	2.3%	1
3 BEDROOM UNIT	0%	0
TOTAL	100%	43

PROJECT INFORMATION			
Zoning By-law:	R4UB	SITE AREA: 324 TWEEDSMUIR AVENUE	1,332.9 m² 14,347 ft²
2008-250 Consolidation			
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A-2'	11.0m	4 STOREYS / 15.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		0.0m	4.5m + 200.0m²
FRONT YARD SETBACK		TBD	4.4m
INTERIOR SIDE YARD SETBACK (VARIES)		1.5m	0.1m / 4.2m
REAR YARD SETBACK (30% OF LOT DEPTH)		19.56m	3.0m
SOFT LANDSCAPE AREA: FRONT YARD (40%)		40% (46m²)	45% (52m²)
TOTAL RESIDENTIAL UNIT COUNT		-	43
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA X	16	0
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT		3	0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		22	67
AMENITY AREA - TOTAL PER UNIT - 6.0m²		258.0 m²	550.0 m²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²		129.0 m²	275.0 m²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL		149.1 m²	149.1 m²

CLIENT:

WESTBORO VILLAGE

ARCHITECT:

56 beech street, ottawa, ontario K1S 3j6
t: 613.724.9932 f: 613.724.1209 rlaarchitecture.ca

PROJECT TITLE: **1994 SCOTT STREET**

OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN**

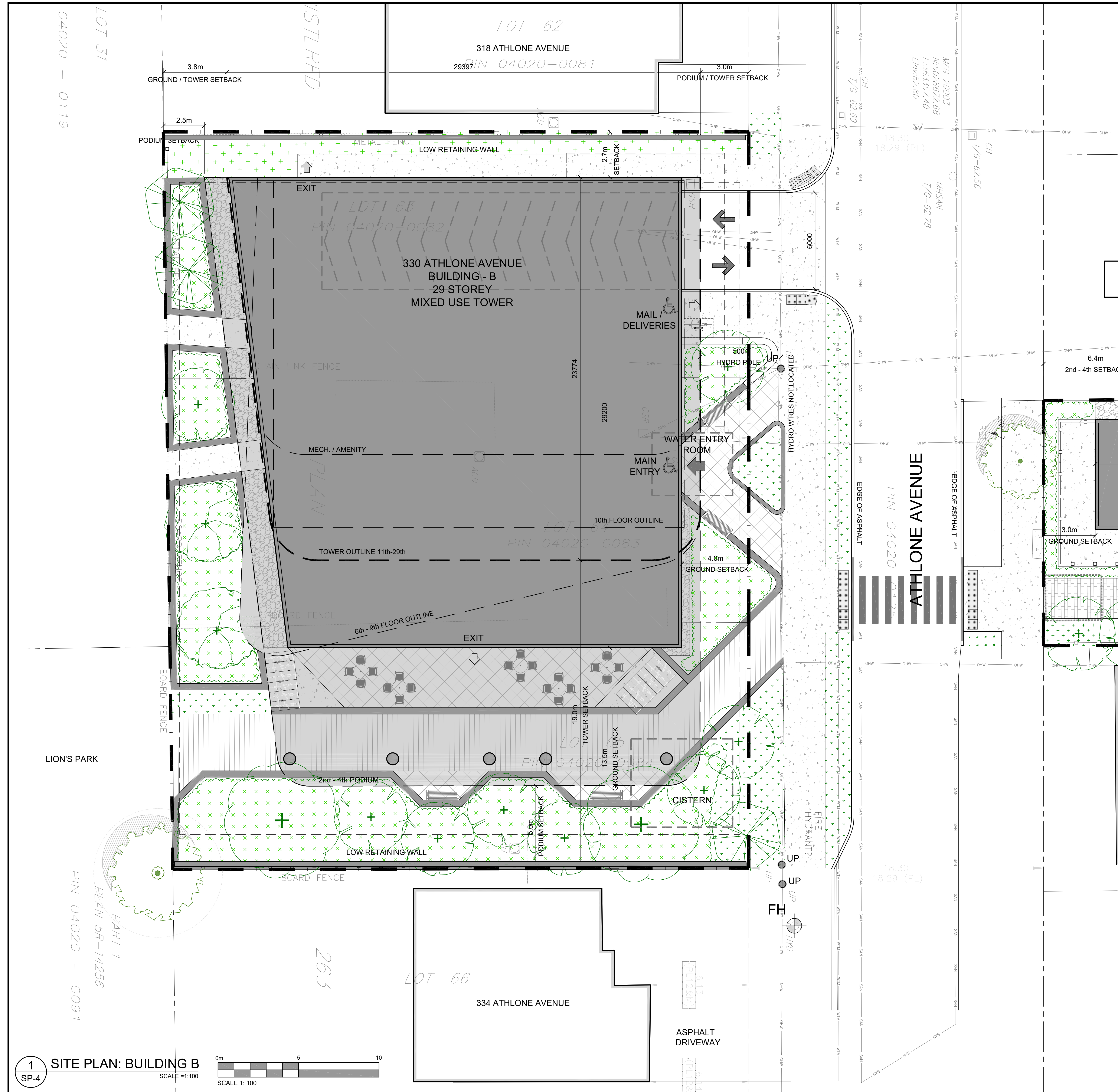
324 TWEEDSMUIR AVENUE
BUDG. A-2

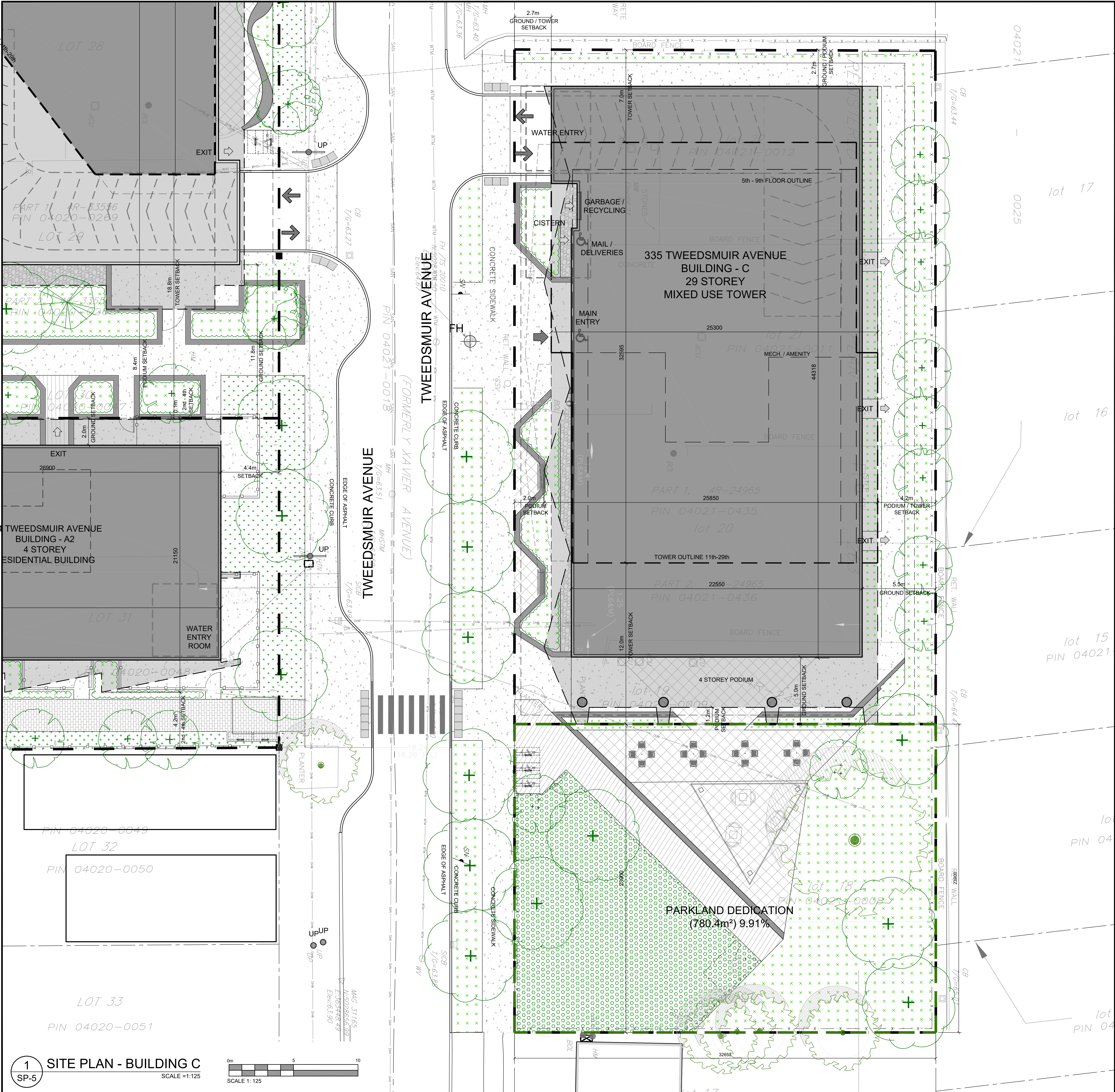
DRAWN: R.V. CHECKED: R.V.

SCALE: 1:100 SHEET No.

PROJECT No. **SP-3**

2409

[illegible]



PROJECT INFORMATION

Zoning By-law: 2008-250 Consolidation

TM 1 8

SITE AREA: 335 TWEEDSMUIR AVE.

2,485.1 m²
26,749 ft²

ZONING

BUILDING HEIGHT	BUILDING 'C'	6 STOREYS / 18.0m	29 STOREYS / 99.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		0.0m	4.5m x 300.0m
DENSITY - MAXIMUM FLOOR SPACE INDEX		0.0	7.6
DENSITY - UNITS PER HECTARE		—	1,336
TOWER FOOTPRINT (GUIDELINE ONLY) NOT INCLUDES BALCONIES		750m ²	770.9m ²
FRONT YARD SETBACK - AVERAGE OF ADJACENT HOMES		TBD	2.0m
HIGH-RISE BUILDING SETBACK - INTERIOR SIDE YARD		10.0m	1.2m / 2.7m
HIGH-RISE BUILDING SETBACK - REAR YARD		10.0m	4.2m
TOTAL RESIDENTIAL UNIT COUNT		-	318
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA Y	153	122
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT		30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		159	322
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		1,908.0m ²	4,325.0 m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		954.0m ²	1,445.0 m ²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL			

AMENITY SPACE

GROUND FLOOR COMMUNAL INTERIOR =	310.0 m ²
AT GRADE COMMUNAL EXTERIOR =	400.0 m ²
5th FLOOR COMMUNAL INTERIOR =	150.0 m ²
5th FLOOR COMMUNAL TERRACE =	190.0 m ²
ROOF TOP COMMUNAL INTERIOR =	165.0 m ²
ROOF TOP COMMUNAL TERRACE =	230.0 m ²
PRIVATE BALCONIES =	1,900.0 m ²
PRIVATE TERRACE =	980.0 m ²
TOTAL =	4,325.0 m ²
TOTAL COMMUNAL =	1,445.0 m ²
REQUIRED - 6.0m ² PER UNIT (318) =	1,908.0 m ²
REQUIRED COMMUNAL @ 50% =	954.0 m ²

WASTE REQUIREMENT

GARBAGE	- 0.11 PER UNIT	35 YARDS
RECYCLING GMP	- 0.018 PER UNIT	6 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	12 YARDS
COMPOST	- 240L PER 50 UNITS	7

LOT COVERAGE

PARKLAND DEDICATION	780.4 m ²	31.40%
PAVED SURFACE	17.9 m ²	0.72%
BUILDING FOOTPRINT	1,007.7 m ²	40.55%
LANDSCAPE OPEN SPACE	679.1 m ²	27.33%
TOTAL	2,485.1 m ²	100.0%

BUILDING STATISTICS

GROSS BUILDING - AREA
(CITY OF OTTAWA'S DEFINITION)

PARKING LEVEL	0.0 m ²
GROUND FLOOR	0.0 m ²
MEZZANINE LEVEL	0.0 m ²
2nd - 4th FLOOR	3 x 1,002.0 m ² 3 x 10,785 ft ²
5th FLOOR - AMENITY	255.8 m ² 2,861 ft ²
4th - 9th FLOOR	4 x 820.8m ² 4 x 8,835 ft ²
10th FLOOR	3,283.2 m ² 35,340 ft ²
11th - 29th FLOOR	19 x 621.34 m ² 19 x 6,688 ft ²
30th - AMENITY / MECHANICAL PENTHOUSE	0 m ² 000 ft ²
TOTAL AREA	18,881.6 m ² 203,240 ft ²
TOWER FLOOR PLATE	770.9 m ² 8,298 ft ²
TOWER BALCONY PROJECTIONS	91.2 m ² 982 ft ²

UNIT STATISTICS

STUDIO UNIT	22.0%	70
1 BEDROOM UNIT	24.8%	79
1 BEDROOM + DEN UNIT	29.6%	94
2 BEDROOM UNIT	11.3%	36
2 BEDROOM + DEN UNIT	10.4%	33
3 BEDROOM UNIT	1.9%	6
TOTAL	100%	318

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER UNIT AFTER 12	153
VISITOR	- 0.1 PER UNIT AFTER 12 (MAX. 30 PER BLDG.)	30
TOTAL		183

PROVIDED

RESIDENCE	- 0.38 PER UNIT	122
VISITOR	- 0.1 PER UNIT	30
TOTAL		152

LOCATION

P4 U/G PARKING LEVEL	42
P3 U/G PARKING LEVEL	40
P2 U/G PARKING LEVEL	30
P1 U/G PARKING LEVEL	30
TOTAL	152

BICYCLE PARKING

REQUIRED		
RESIDENCE	- 0.5 PER UNIT	159
PROVIDED		
RESIDENCE - INTERIOR	- 0.5 PER UNIT	322
RESIDENCE - EXTERIOR	- TO BE REVIEWED BY LANDSCAPE ARCH.	0
TOTAL		322

LOCATION

P4 U/G PARKING LEVEL	35
P3 U/G PARKING LEVEL	35
P2 U/G PARKING LEVEL	35
P1 U/G PARKING LEVEL	35
GROUND FLOOR	34
MEZZANINE LEVEL	148
TOTAL	322

NOTATION SYMBOLS:

(00)

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

(00)

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

(00)

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

(000)

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

(00)

DETAIL NUMBER

(00)

TITLE

(00)

DETAIL REFERENCE PAGE

(00)

DETAIL CROSS REFERENCE PAGE

ISSUED FOR OPA & ZBLA APPLICATION

2025 12 12

UPDATED AS PER CIVIL COORDINATION

2025 12 09

GENERAL REVISION: ISSUED FOR REVIEW

2025 11 17

ISSUED FOR OWNER / CONSULTANT REVIEW

2025 09 12

ISSUED FOR OWNER / CONSULTANT REVIEW

2025 07 17

No. DESCRIPTION

DATE

REVISIONS:

ARCHITECT SEAL:

OTTAWA ASSOCIATION

ARCHITECTS

REYNOLD REID

8667

SEAL DATE: STAMP DATE

CLIENT:

WESTBORO VILLAGE

ARCHITECT:

rla / architecture

roderick lahey architect inc.

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PROJECT TITLE:

1994 SCOTT STREET

OTTAWA

ONTARIO

SHEET TITLE:

SITE PLAN

1994 SCOTT STREET

BUDG. - C

DRAWN:

R.V.

CHECKED:

F.R.

SCALE:

1:125

PROJECT No.

2409

SHEET No.

SP-5

1

SP-5

SITE PLAN - BUILDING C

SCALE 1:125

0m

5

10

0m

5

10

PAPER SIZE: ISO_B1_(707.00_x_1000.00_MM)

PLOT DATE: Thursday, December 11, 2025

PLOT SCALE: 1:1

PEN STYLE: 0-RLA-MASTER-100%.ctb

F:\2024\2409 - 1994 Scott St OPA (Westboro Village)\01 Design Development\01 Site Plan\2409 SP-1 Site Plan 2025 12 08.dwg

City Plan #