

SURVEY INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT
 PART OF LOT 1 & LOTS 2 & 3
 (WEST CHAMPAGNE AVENUE)
 BLOCK C AND
 LOTS 1, 2 & 3 (EAST LORETTA AVENUE)
 BLOCK C AND
 LOTS 4, 5, 6, 7 & 8
 BLOCK C AND
 PART OF CHAMPAGNE STREET
 (CLOSED BY BY-LAW 4863)
 REGISTERED PLAN 73
 CITY OF OTTAWA
 STANTEC GEOMATICS LTD. 2017
SITE STATISTICS
 SITE AREA: 10,012m² / 2.47 ac
 RESIDENTIAL UNIT COUNT:
 TOWER A = 402
 TOWER B = 304
 TOWER C = 332
 TOTAL = 1038

Minimum Lot Width (m)	Requirement	Proposed
Minimum Lot Area (m ²)	No minimum	Complies
Minimum Front Yard Setback (m)	5 metres, aside from Standard Bread Building (See S.YYY)	5m
Minimum Rear Yard Setback (m)	3 metres, (See S.YYY)	3m
Interior Side Yard Setback (m)	2 metres, aside from Standard Bread Building (See S.YYY)	2m
Corner Side Yard Setback (m)	3 metres, (See S.YYY)	3m
Maximum Building Height (m)	6.7 metres, (See S.YYY)	Complies
Maximum Floor Space Index	0m to 132m (See S.YYY)	Complies
Minimum Width of Landscaped Area	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped	Complies
Minimum Tower Separation	25 metres	Complies
Minimum Tower Podium Stepback Distance	2 metres	2m at Gladstone frontage only

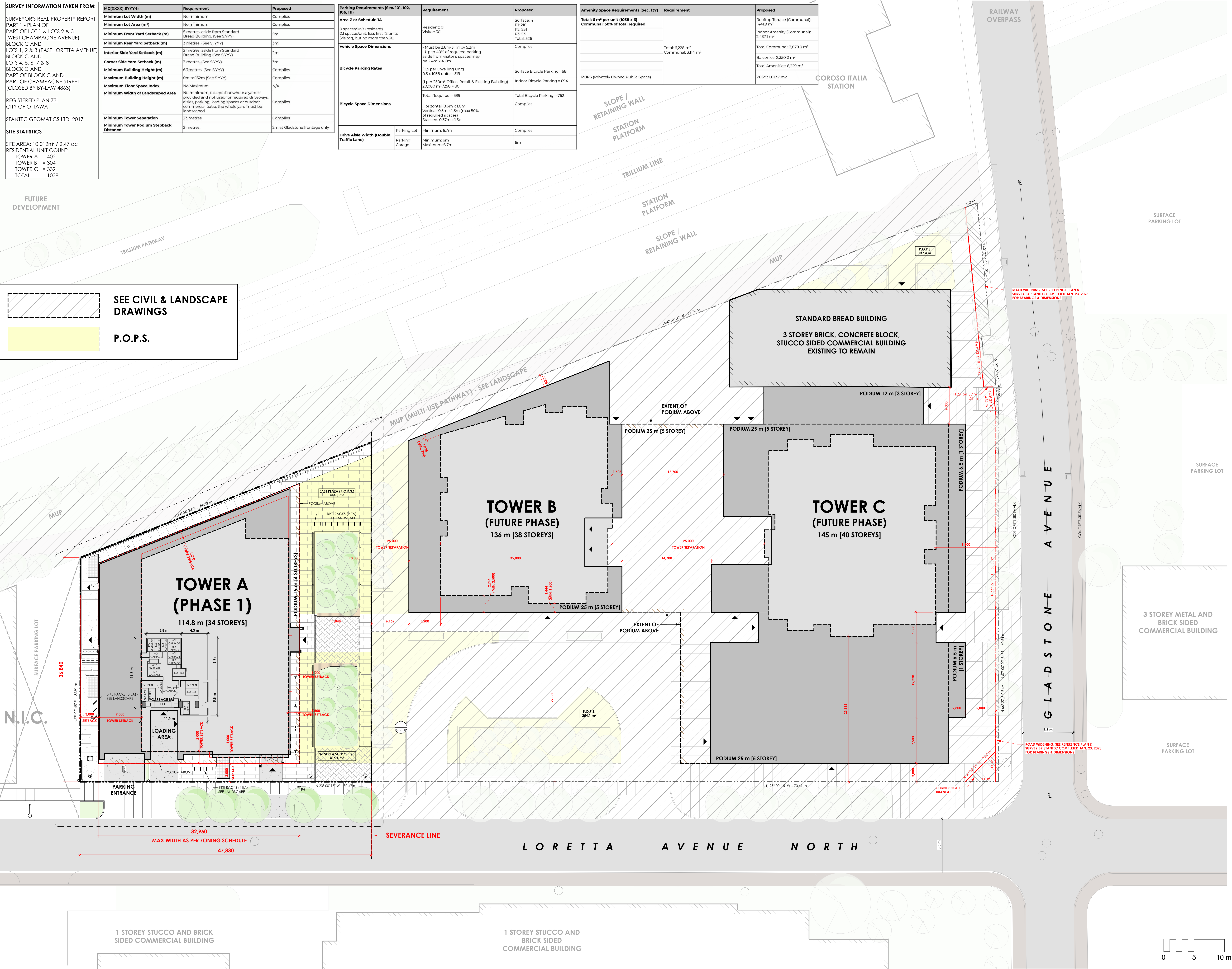
Parking Requirements (Sec. 101, 102, 106, 111)	Requirement	Proposed
Area Z or Schedule 1A	Resident: 0 Visitor: 30	Surface: 4 P: 218 P2: 291 P3: 53 Total: 526
Vehicle Space Dimensions	- Must be 2.6m x 3.1m by 5.2m - Up to 40% of required parking aside from visitor's spaces may be 2.4m x 4.6m	Complies
Bicycle Parking Rates	(0.5 per Dwelling Unit) 0.5 x 1038 units = 519 (1 per 250m ² Office, Retail, & Existing Building) 20,080 m ² / 250 = 80 Total Required = 599	Surface Bicycle Parking = 68 Indoor Bicycle Parking = 694 Total Bicycle Parking = 762
Bicycle Space Dimensions	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped	Complies
Drive Aisle Width (Double Traffic Lane)	Parking Lot Minimum: 6.7m	Complies
	Parking Garage Minimum: 6m Maximum: 6.7m	6m

Amenity Space Requirements (Sec. 137)	Requirement	Proposed
Total: 6 m² per unit (1038 x 6) Communal: 50% of total required	Total: 6,228 m ² Communal: 3,114 m ²	Roof Top Terrace (Communal): 1441.9 m ² Indoor Amenity (Communal): 2,437.1 m ² Total Communal: 3,879.0 m ² Balconies: 2,350.0 m ² Total Amenities: 6,229 m ² POPS: 1,077.2 m ²

FUTURE DEVELOPMENT

SEE CIVIL & LANDSCAPE DRAWINGS

P.O.P.S.



CLV GROUP DEVELOPMENTS
 Client

CUNLIFFE & ASSOCIATES
 CONSULTING STRUCTURAL ENGINEERS
 structural engineers | Ingénieurs structurels

GWAL
 Goodley, Weedmark & Associates Ltd.
 electrical engineers | ingénieur électrique
 mechanical engineer | ingénieur mécanicien

wsp
 civil engineers | ingénieur civil

CSW
 landscape architect | architecte paysagiste

nord du projet
 nord réel
 true north

NOT FOR CONSTRUCTION

25. RE ISSUED FOR OPA/28A	25-10-15
24. ISSUED FOR OPA/28A	25-02-23
17. RE ISSUED FOR SPA	25-03-03
16. RE ISSUED FOR SPA	25-02-28
15. RE ISSUED FOR SPA	25-02-27
14. RE ISSUED FOR SPA	25-01-31
13. ISSUED FOR SPA	24-11-29

no. revisions date
 stamp | timbre

ONTARIO ASSOCIATION OF ARCHITECTS
 ANDREW REEVES
 LICENCE 6464

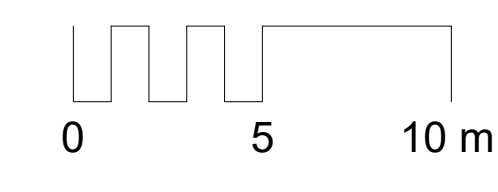
architect | architecte
linebox
 STUDIO

All dimensions are shown in metric.
 Contractor shall check and verify all dimensions and report all error and omissions to the Architect.
 Do not scale the drawings.
 Not for construction until signed by the Architect.

project title | titre du projet
GLADSTONE AND LORETTA RESIDENTIAL TOWER
 145 LORETTA AVE. N | OTTAWA | ON

MASTER SITE PLAN

project number numéro du projet	2402
drawn dessiné	JH / DL / PC / JP
checked vérifié	JP / AR
scale échelle	1:200
date date	11/19/24
drawing number numéro du dessin	A1-100a



Approved: [Signature] / [Signature] & [Signature] / [Signature] 145 Loretta Ave. N, Ottawa, Ont.
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