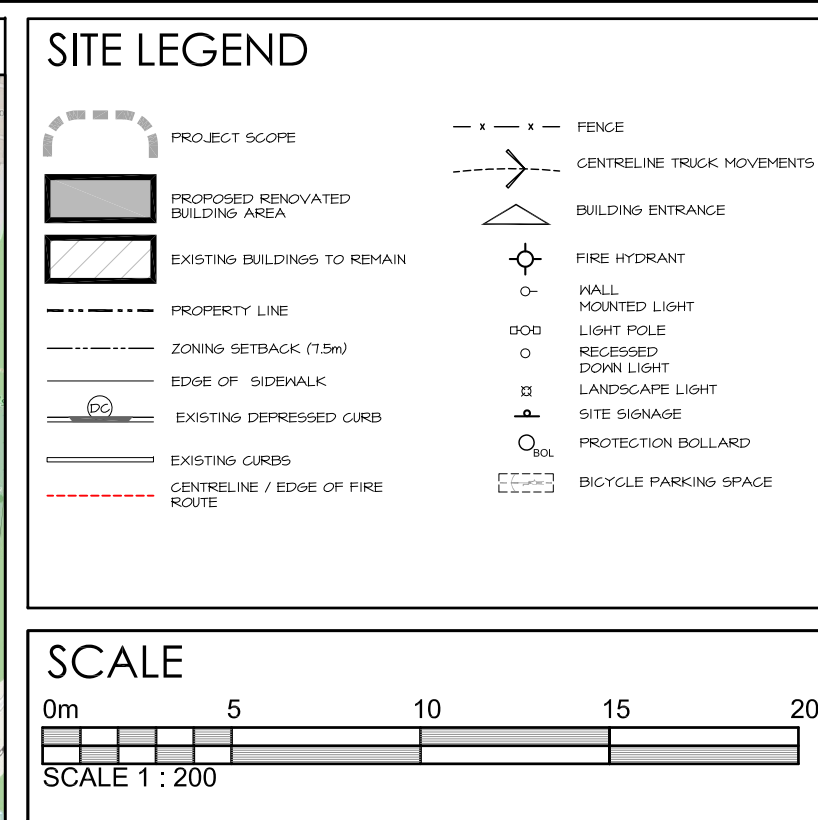
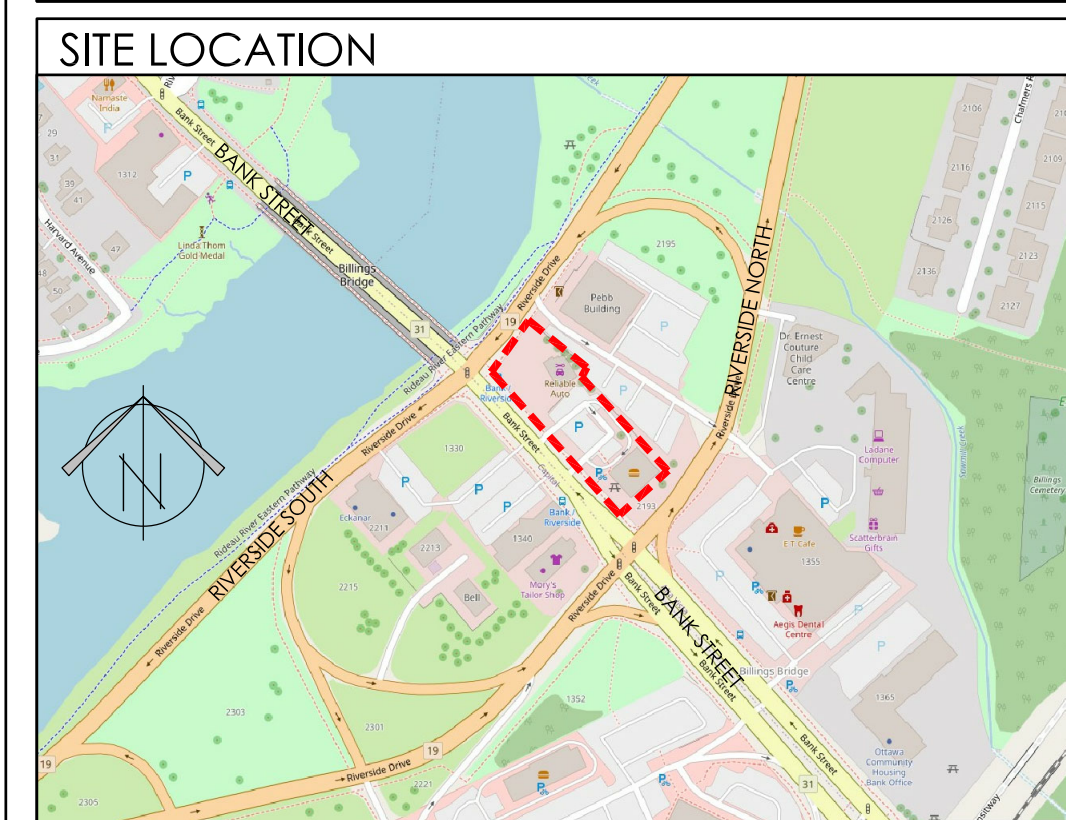
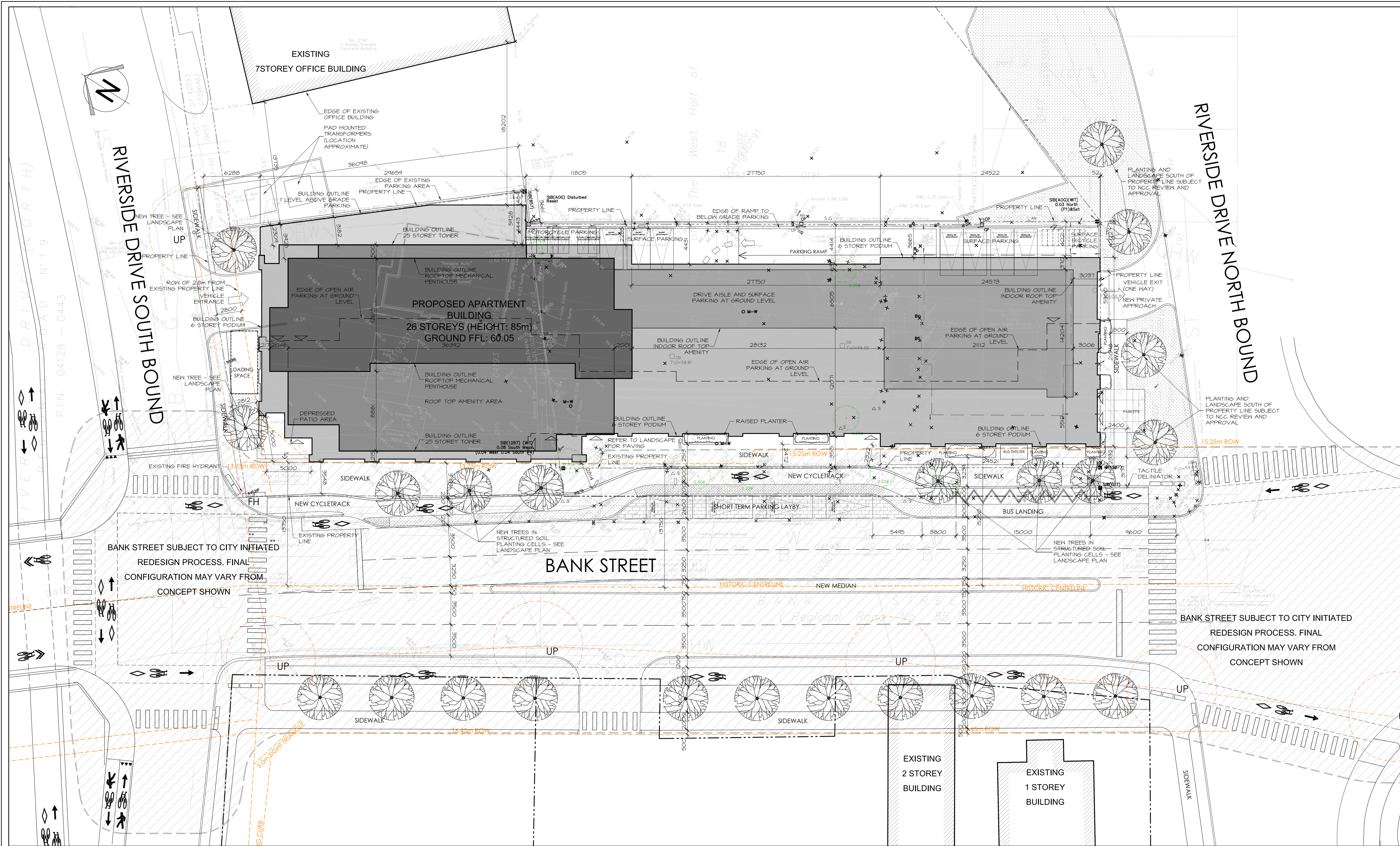




BUILDING AREAS	
BUILDING FOOT PRINT:	2099 m ²
CONSTRUCTED GFA: (ABOVE GRADE)	27 540m ²
RESIDENTIAL LEASEABLE AREA: GFA (ZBL):	21 140m ² 19 026m ²
INDOOR AMENITY	1681 m ²
OUTDOOR AMENITY	709 m ²
COMMERCIAL	174 m ²
BELOW GRADE PARKING CONSTRUCTED AREA	4916 m ²

PROJECT STATISTICS		
SITE AREA:	REQUIRED	PROVIDED
MIN LOT WIDTH:	2000m ²	2827 m ²
SETBACKS :	NA	95.28m
FRONT (Bank)	0.0 m	0.8m
NORTH (Riverside)	0.0 m	2.8m
SOUTH (Riverside)	0.0 m	0.0m
REAR (east)	0.0 m	0.0m
MAX HEIGHT :	50 m	86 m
LANDSCAPE:	00%	00% (of project area)

PROJECT STATISTICS (cont)		
PARKING:	REQUIRED	PROVIDED
RESIDENTIAL (391 UNITS):		
APARTMENT - 326		
SHORT LEASE - 65		
0.5/DU	191	142
COMMERCIAL (GFA 524m ²):		
0/1500 m ²	0	0
VISITOR (391 UNITS)		
(0.1/DU-12)	30	30
TOTAL:	228	172
BICYCLE PARKING:		
RESIDENTIAL (391 UNITS):		
0.5/DU	191	267
COMMERCIAL (GFA 524m ²):		
1/250 m ²	1	2
TOTAL:	192	269

LEGAL DESCRIPTION:
PART 1 of
Plan of LOT 2 REGISTERED PLAN 347 and PART OF THE
NORTH HALF OF THE WEST HALF OF LOT 18;
CONCESSION JUNCTION GORE GEOGRAPHIC
TOWNSHIP OF GLOUCESTER; CITY OF OTTAWA

CIVIL ADDRESS:
1335 - 1339 BANK ST (AT Riverside Drive)

ZONING NOTES:
OFFICIAL PLAN DESIGNATION: GENERAL URBAN AREA,
ARTERIAL MAINSTREET
ZONING - AM6 - ARTERIAL MAINSTREET
ABUTTING: NORTH - NOT APPLICABLE
SOUTH, EAST, WEST - AM6
SOUTH WEST - MC(1341)
SCHEDULE 1A: AREA Y (INNER URBAN MAINSTREET)
PREVIOUS APPLICATION: D07-12-17-0101

Owner
LOFTY RIVERSIDE GP
206-900 boulevard de la Carrière, Gatineau, Quebec, J8Y 6T5
Attn: Kevin McMahon

Architect/Agent
HOBIN ARCHITECTURE INC.
63 Pamilla Street, Ottawa, Ontario, K1S 3K7
Attn: Doug van den Ham - 613-238-7200

Survey
ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
Suite 500 - 14 Concourse Gate, Nepean, Ontario, K2E 7S6
Attn: Richard Gauthier

Civil
NOVATECH ENGINEERS
Suite 200 - 240 Michael Cowpland, Ottawa, ON, K2M 1P6
Attn: Francois Thauvette - 613-254-9643

Structural
NOT YET CONTRACTED

Mechanical/Electrical
NOT YET CONTRACTED

LOFTY

2	AUG 5, 2020	ISSUED FOR ZONING AND OF AMENDMENT
1	JULY 21, 2020	ISSUED FOR COORDINATION
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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Hobin Architecture Incorporated
63 Pamilla Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

HOBIN
ARCHITECTURE

PROJECT/LOCATION:
LOFTY RIVERSIDE APARTMENT BUILDING
1335 - 1339 BANK STREET

DRAWING TITLE:
SITE PLAN

DRAWN BY: DV	DATE: JULY 2020	SCALE: 1:200
PROJECT: 2008		DRAWING NO.: A1.00
		REVISION NO.: