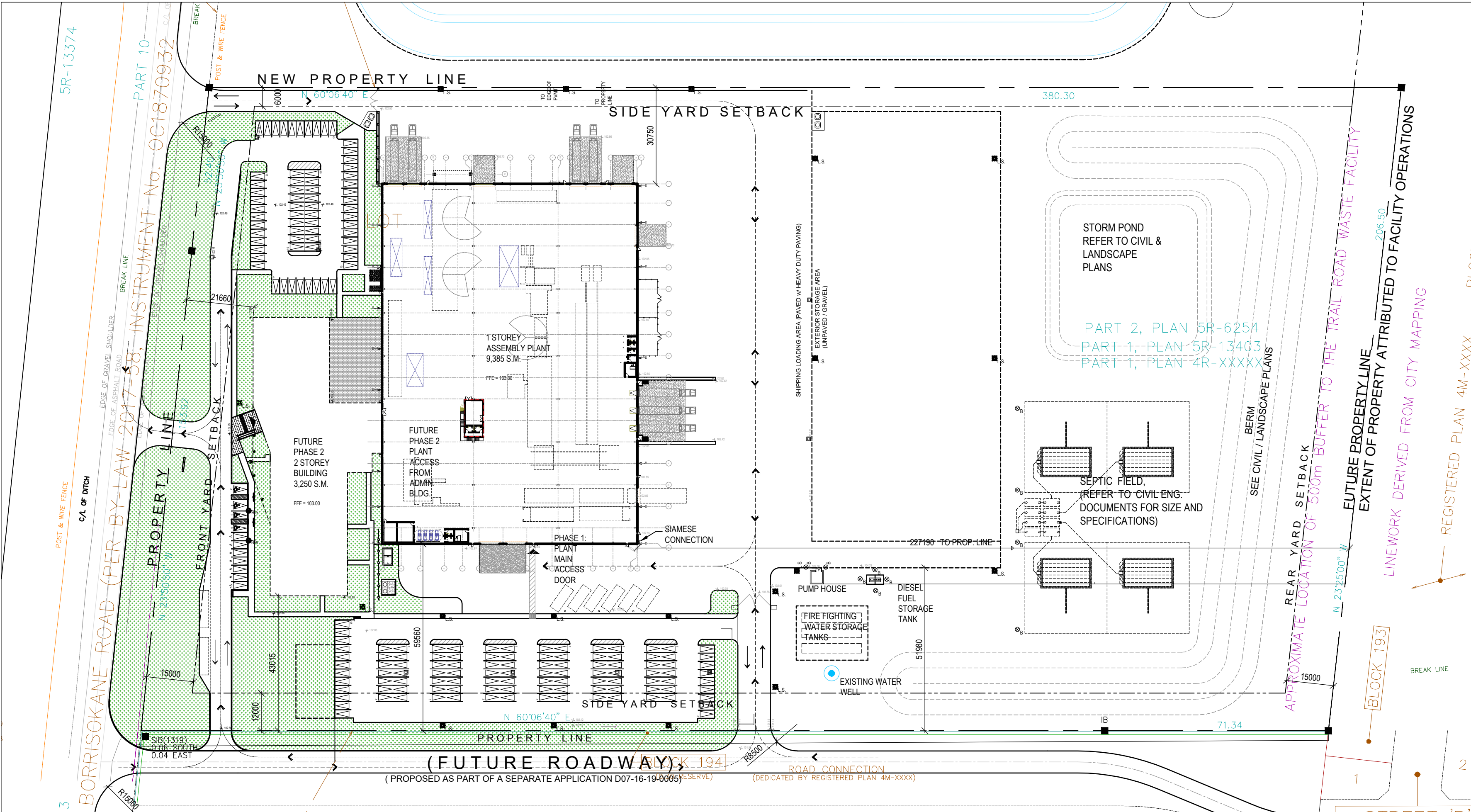
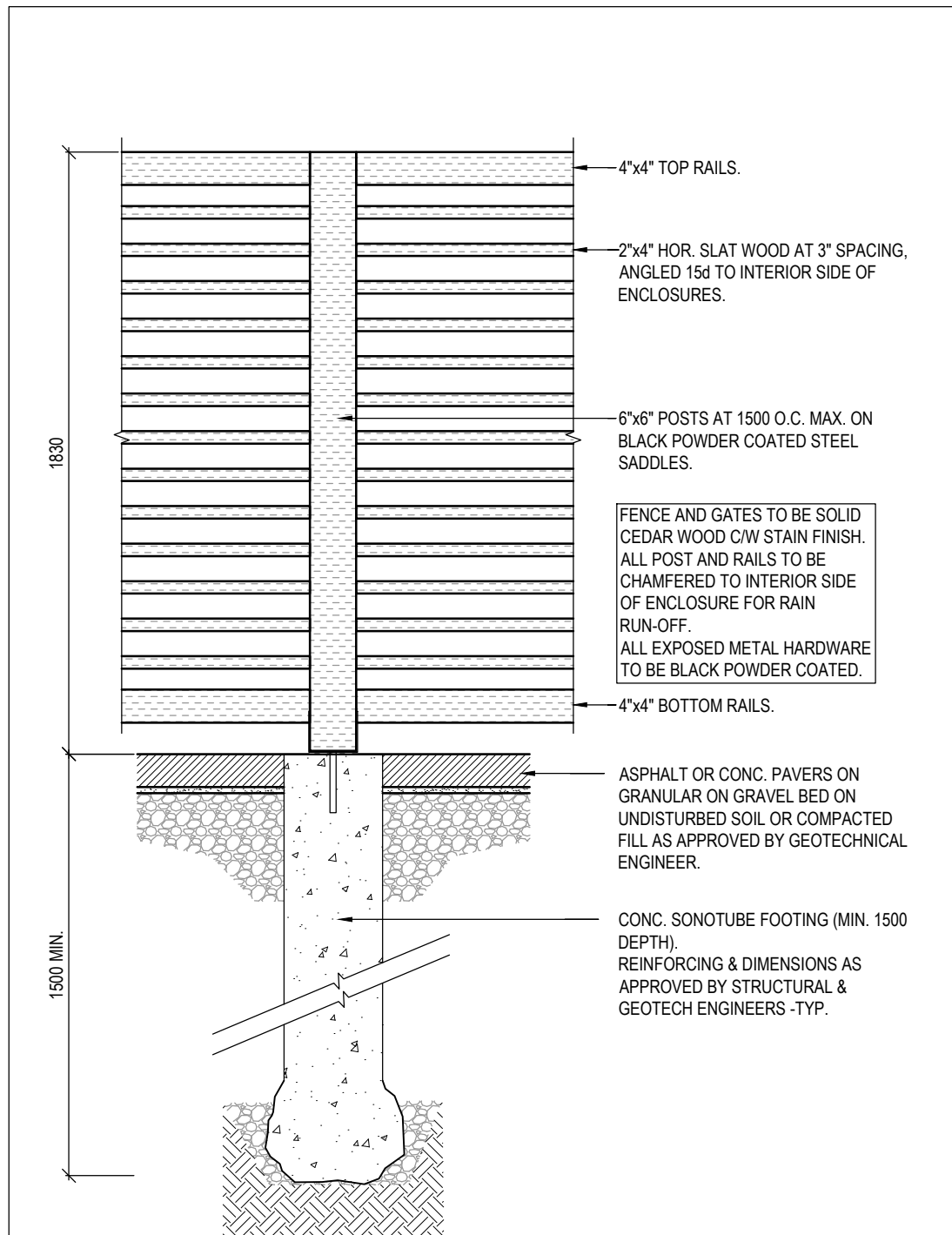




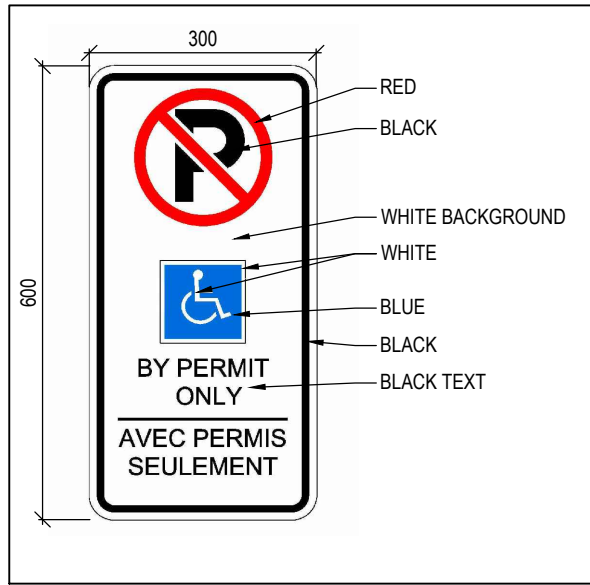
2 OVERALL SITE PLAN
A 104b 1:1000



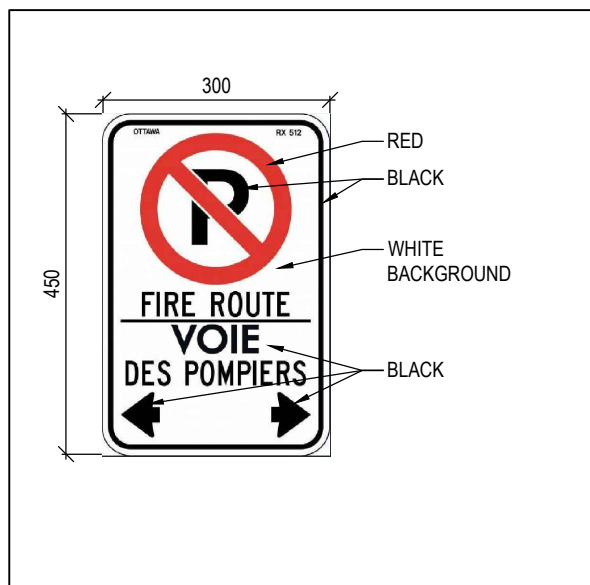
1 AERIAL PERSPECTIVE
A 104b N.T.S.



5 WOOD FENCE
A 104b 1:20

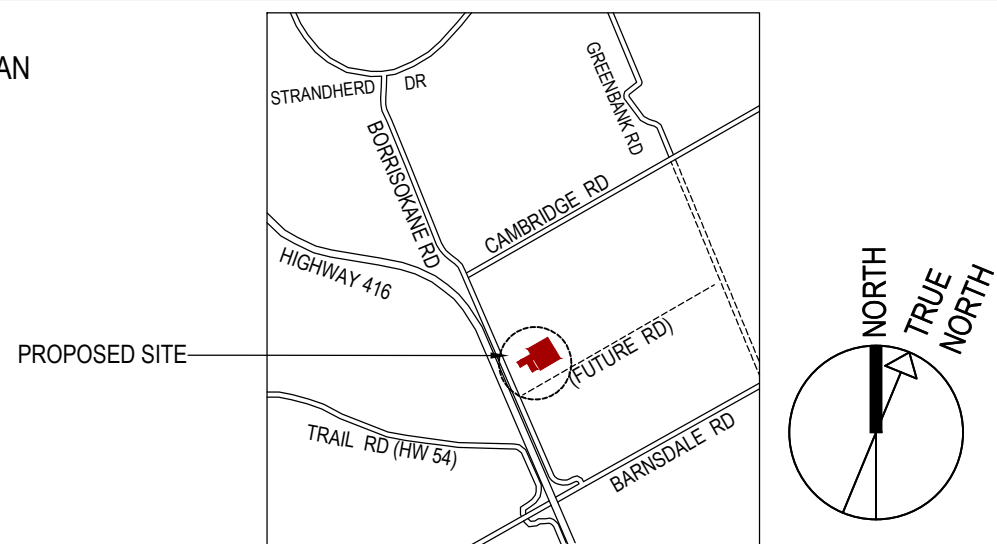


4 B/F PARKING SIGN
A 104b 1:10



3 FIRE ROUTE SIGN
A 104b 1:10

KEY PLAN



PROPERTY DESCRIPTION

TWO STOREY OFFICE BUILDING & ONE STOREY ASSEMBLY PLANT

CITY OF OTTAWA PIN NUMBER 04592-0035 (LT)

MUNICIPAL ADDRESS 3713 BORRISOKANE RD, OTTAWA, ON

SITE INFORMATION

PROPERTY LINES BASED ON BOUNDARY SURVEY BY J.D. BARNES LTD REF# 19-10-074-00

FOR REVISED SITE BOUNDARY PLAN 4R-32754

LOT AREA: 77,858 m²

LOT FRONTAGE: 206.3 m (perpendicular to Borrisokane Rd), 205.2 m (perpendicular to north boundary)

LOT DEPTH: 379.5 m

BUILDING INFORMATION

BUILDING AREA: 9,372 (Ph1) + 2,450 (Ph2): 11,822 m² (both phased buildings combined)

BUILDING FLOOR AREA (GFA): Administration building: 3,250 m², and Industrial Assembly Plant: 9,385 m²

PROPOSED USE: LOW-RISE OFFICE BUILDING AND ONE STOREY ASSEMBLY PLANT

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250		CLASSIFICATION: RG (Rural General Industrial)	
	REQUIRED	PROPOSED	
MINIMUM LOT AREA	4,000m ²	77,858 m ²	
MINIMUM LOT WIDTH	30m	206.3 m 188.2 m at front yard set back	
SETBACKS		Standard for this Zoning	Phase 2
MINIMUM FRONT YARD SETBACK (at Borrisokane Rd)	15m	21.7 m (narrowest)	
MINIMUM INTERIOR SIDE YARD SETBACK	8m	6m	
MINIMUM CORNER SIDE YARD SETBACK	12m	43.0 m	
MINIMUM REAR YARD SETBACK	15m	227.2 m (narrowest)	
MAXIMUM BUILDING HEIGHT	15m	9.2m and 12.6m	
MAXIMUM LOT COVERAGE	50%	15.2%	
OUTDOOR STORAGE AREA	---	8,252 m ²	
VEHICLE PARKING REQUIREMENTS (AREA D, SCHEDULE 1A)	0.8 per 100m ² of Lt. Industr. GFA 75 required for Assembly Plant Bldg 2.4 per 100m ² of Office GFA 83 required for Administration Bldg	171 regular spaces + 7 for Visitors + 4 Barrier-free (SEE BELOW) + 2 Bus Bays	
BARRIER-FREE PARKING REQTS City of Ottawa Part C - Section 111 O.Reg 191/11	Part C -Section 111: 5 per 400-499 O.Reg 191/11: 2 + 2% per 201-1000	4 SPACES per O.Reg 191/11: (2 type 'A' + 2 type 'B')	
BICYCLE PARKING SPACES Part C-Section 111, Table 111A	N/A	18 SPACES	
LOADING SPACE REQUIREMENTS Part C - Section 113, Table 113A	1 space for first 5,000 m ² plus all required spaces for GFA exceeding 5,000 m ² .	12 SPACES (all oversized, accessed via Plant)	

LEGEND:

- GRASS (80% SCAPE (SEE LANDSCAPE PLANS))
- UNIT PAVERS (CONCRETE, STONE, ETC.)
- ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING (INCL. ALL PAVING OUTSIDE OF PLANT BUILDING)
- CONCRETE
- FIRE ROUTE
- PROPERTY (LOT) LINE
- SETBACK LINE
- CHALK LINE FENCE
- ONE OR ARCHITECTURAL CEDAR WOOD SCREEN
- DESIGNATED BUILDING ENTRANCE / EXIT
- DEPRESSED CURB
- PAINTED CROSSWALK LINES
- STANDARD PARKING SPACE
- TYPE 'A' BARRIER-FREE PARKING SPACE ON ASIDE. PAINTED MARKINGS & SIGN WHERE SHOWN
- TYPE 'B' STANDARD PARKING SPACE ON ASIDE. PAINTED MARKINGS & SIGN WHERE SHOWN
- SPACE FOR FIRE ACCESS ROUTE
- SPACE FOR BARRIER-FREE PARKING
- BICYCLE PARKING (HORIZONTAL) 1:1.5
- FIRE HYDRANT: REFER TO CIVIL
- CATCH BASIN
- MANHOLE
- FLOOR DRAIN
- UTILITY POLE / OVERHEAD UTILITY WIRES
- LIGHT STANDARD
- BOLLARD LIGHTING AT WALKWAYS
- BOLLARD: 4" DIA. CONC. FILLED PAINTED STEEL HSS
- BOLLARD: ELECTRIC VEHICLE CHARGING: REFER TO ELEC. DWGS
- NEW TREE: REFER TO LANDSCAPE DRAWINGS
- EXISTING GROUND ELEVATION (TO DETERMINE EXISTING AVERAGE GRADE)
- NEW GROUND ELEVATION: REFER TO CIVIL
- NEW REPAIR ZONE PLANTING (REFER TO LANDSCAPE DRAWINGS)
- T.O.W. TOP OF WALL
- DOWNSPROUTS AT APPROX. 13m O.C. w/ 200mm HCR
- EXTENSION FOR DOWNSPROUTS AT APPROX. 13m O.C. w/ 200mm HCR
- PRECAST CONC. SLASH PAD AT NON-PAVED AREAS

- NOTES:
- PROPERTY LINES ARE BASED ON BOUNDARY SURVEY BY J.D. BARNES LTD. REF# 19-10-074-00
- REFER TO CIVIL DRAWINGS FOR GRADING, STORM WATER MANAGEMENT, UTILITIES & SITE SERVICES, ROADWAY DESIGN, RETAINING WALLS, BERM, ETC.
- LANDSCAPING INFORMATION IS SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO LANDSCAPE DRAWINGS FOR TREE PLANTING, LANDSCAPE SURFACE TREATMENTS AND COVERINGS, SIGNAGE MONUMENTS AT GRADE, ETC.
- DOUBLE TRAFFIC LANES (AND AISLES) TO BE A MINIMUM OF 6.1 METERS WIDE

No. Date Envs pour / Object
1 2020-04-02 COORDINATION
2 2020-04-24 SPC_CITY_COMMENTS

Engineer / Trade Consultants
(Mechanical / Electrical)

Goodkey Weedmark
Consulting Engineers

DILFO
MECHANICAL | HVAC SERVICES
PLUMBING & HEATING

DRYCORE
ELECTRIC - ELECTRIQUE

Engineer
(Structural)

CLELAND JARDINE
ENGINEERING LTD.

Landscape
Architect

NAK
design strategies

Urban Planner

FOTENN
PLANNING+DESIGN

Engineer
(Civil)

DSEL
david schaeffer engineering ltd

Owner

ABIC
ADVANCED BUILDING INNOVATION COMPANY

Architect

Collectif d'architectes / Architects Collective

fig. 1

3500, Saint-Antoine O.
Montreal QC H4C 1A3
T: 514 881-0122

fig. 2

190 Somerset St W #206
Ottawa ON K2P 5A4
T: 613 956-6122

Design Builder

BBS CONSTRUCTION (ONTARIO) LTD.
1805 WOODWARD DRIVE
OTTAWA, ON K2C 0P9
CANADA (613) 226-8830 Fax: (613) 226-7709
www.bbsconstruction.ca

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Scalé / Seal

Note:

L'entrepreneur doit vérifier toutes les dimensions et informations sur le site et en informer immédiatement le fournisseur de toutes erreurs ou omissions.

Contractor shall verify all information and dimensions on site and immediately report any errors or omissions to the architect.

Project / Projet

ABIC OFFICE / ASSEMBLY PLANT

3713 BORRISOKANE RD.
Ottawa, Ontario

Site / File

SITE INFORMATION - PHASE 2

Dessiné par / Drawn by
GB.TS

No. projet / Project number
1944

Vérifié par / Verified by
RC

No. dessin / Drawing number

Revison / Revision

Échelle / Scale
1:250

Date de création du dessin / Drawing creation date
2019-09-19

A104b

PLAN # 18112

TO BE READ IN CONJUNCTION WITH DRAWING A105b

D07-12-20-0002