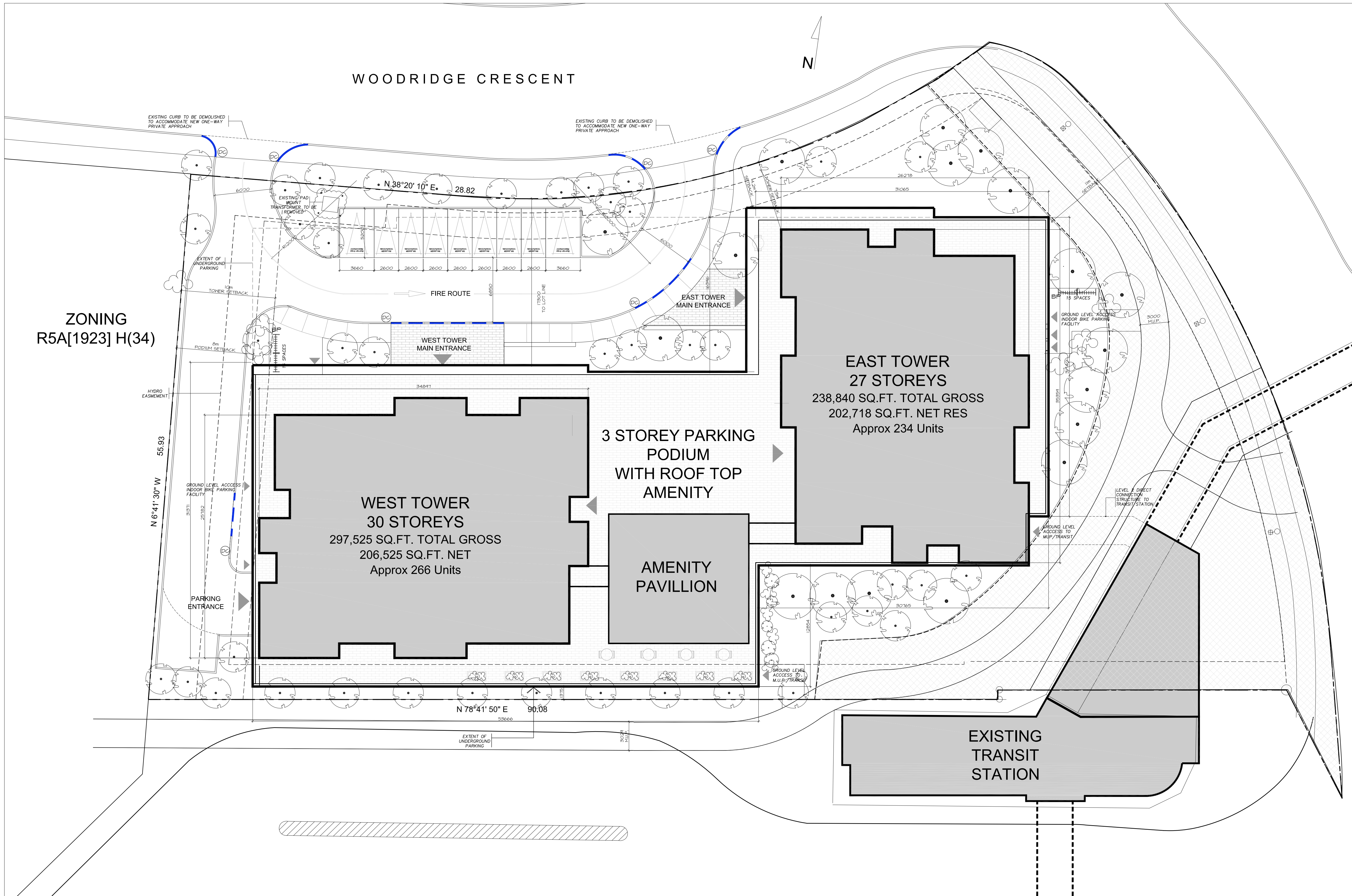




LOCATION PLAN



LEGEND:

- PROPOSED FIRE ROUTE
- PROPOSED BUILDING
- PERMANENT AND TEMPORARY EASEMENT AREA
- EXISTING MAN HOLE
- EXISTING TRAFFIC LIGHT
- EXISTING FIRE HYDRANT
- CONC. CURB DETAIL TO CITY OF OTTAWA STANDARDS
- BIKE PARKING SPACE
- EDGE OF SIDEWALK
- PROPERTY LINE
- SETBACK
- PROPOSED DEPRESSED CURB DETAIL TO CITY OF OTTAWA STANDARD SC-7
- CURB TO BE REBUILT
- ROLL CURB
- EXISTING UTILITY POLE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- SIGNAGE FOR ACCESSIBLE PARKING SPACE
- SIGNAGE FOR FIRE ROUTE ACCESS
- EXISTING SIGN
- EXISTING LIGHT POLE
- NEW LIGHT POLE
- PROPOSED WALL MOUNTED LIGHT
- EXISTING STREET LIGHTING BOX
- EXISTING TRAFFIC SIGNAL BOX



SCALE 1 : 200

PROPOSED SITE PLAN

ZONING NOTES:

CURRENT ZONING: GMF (199) H(34)
PROPOSED ZONING: TBD

TOTAL DEVELOPMENT STATS		PROPOSED
LOT OF AREA		6,143 m ²
LOT WIDTH		121 m IRREGULAR
LOT DEPTH		56 m IRREGULAR
SETBACK ALONG WOODRIDGE		4.2 m
SETBACK ALONG SOUTH SIDE		1.2 m
SIDEYARD SETBACK - WEST SIDE		8 m
CORNER SIDEYARD SETBACK - EAST SIDE		11 m
MAXIMUM HEIGHT		100 m
MAX NUMBER OF STOREYS		30
TOTAL BUILDING AREA		2,436 m ²
TOTAL UNITS		500 UNITS
TOTAL PARKING SPACES		260 SPACES
TOTAL TOTAL RES. PARKING SPACES (0.42/UNIT)		210 SPACES
TOTAL TOTAL VISITOR PARKING SPACES (0.1/UNIT)		50 SPACES
TOTAL BICYCLE PARKING SPACES (0.5/UNIT)		212 SPACES

WEST PHASE - DEVELOPMENT STATS		PROPOSED
NUMBER OF STOREYS		30
TOTAL UNITS		266
SETBACK ALONG WOODRIDGE		17.9 m
SETBACK ALONG SOUTH SIDE		1.2 m
SIDEYARD SETBACK - WEST SIDE		8 m
SIDEYARD SETBACK ABOVE PODIUM - WEST SIDE		10 m
MAXIMUM HEIGHT		100 m
NUMBER OF STOREYS		30
TOTAL GROSS FLOOR AREA (city def.)		1,565 m ²
TYP. FLOOR GROSS FLOOR AREA (city def.)		125 m ²

WEST PHASE - PARKING REQUIREMENTS

1. REQUIRED PARKING		PROVIDED VEHICLE PARKING
LAND USE		
APARTMENT		112 RESIDENTIAL PARKING SPACES PROVIDED FOR 266 UNITS (0.42/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND PARKING PODIUM
2. REQUIRED VISITOR PARKING		PROVIDED VISITOR PARKING
LAND USE		
APARTMENT		26 VISITOR PARKING SPACES PROVIDED FOR 266 UNITS * LOCATED IN PARKING GARAGE AND @ GRADE
TOTAL PARKING PROVIDED FOR PHASE 1		138 TOTAL PARKING SPACES 133 INTERIOR 5 SURFACE

3. BICYCLE PARKING

3.1 REQUIRED BICYCLE PARKING SPACES
RESIDENTIAL (0.5 SPACE/UNIT - 133 SPACES REQUIRED)
3.2 PROVIDED BICYCLE PARKING: 131
P1 level 23 spaces
Ground 45 spaces + 15 exterior spaces
Level 2 52 spaces

4. AMENITY SPACE REQUIREMENTS

REQUIRED AMENITY SPACE: 6 m² REQUIRED PER UNIT
266 UNITS X 6 SQ.M. = 1546 SQ.M. TOTAL AMENITY REQUIRED
REQUIRED AMENITY SPACE TO BE COMMON = 788 SQ.M.
PROVIDED COMMON AMENITY SPACE =

EAST PHASE - DEVELOPMENT STATS		PROPOSED
NUMBER OF STOREYS		27
TOTAL UNITS		234
SETBACK ALONG WOODRIDGE		4.2 m
SETBACK ALONG SOUTH SIDE		VARIES m
SIDEYARD SETBACK		N/A m
CORNER SIDEYARD SETBACK - EAST SIDE		11 m
MAXIMUM HEIGHT		90 m
NUMBER OF STOREYS		27
TOTAL GROSS FLOOR AREA (city def.)		16,281 m ²
TYP. FLOOR GROSS FLOOR AREA (city def.)		662 m ²

EAST PHASE - PARKING REQUIREMENTS

1. REQUIRED PARKING		PROVIDED VEHICLE PARKING
LAND USE		
APARTMENT		98 RESIDENTIAL PARKING SPACES PROVIDED FOR 234 UNITS (0.42/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND PARKING PODIUM
2. REQUIRED VISITOR PARKING		PROVIDED VISITOR PARKING
LAND USE		
APARTMENT		24 VISITOR PARKING SPACES PROVIDED FOR 234 UNITS * LOCATED IN PARKING GARAGE AND @ GRADE
TOTAL PARKING PROVIDED FOR PHASE 2		122 TOTAL PARKING SPACES 118 INTERIOR 4 SURFACE

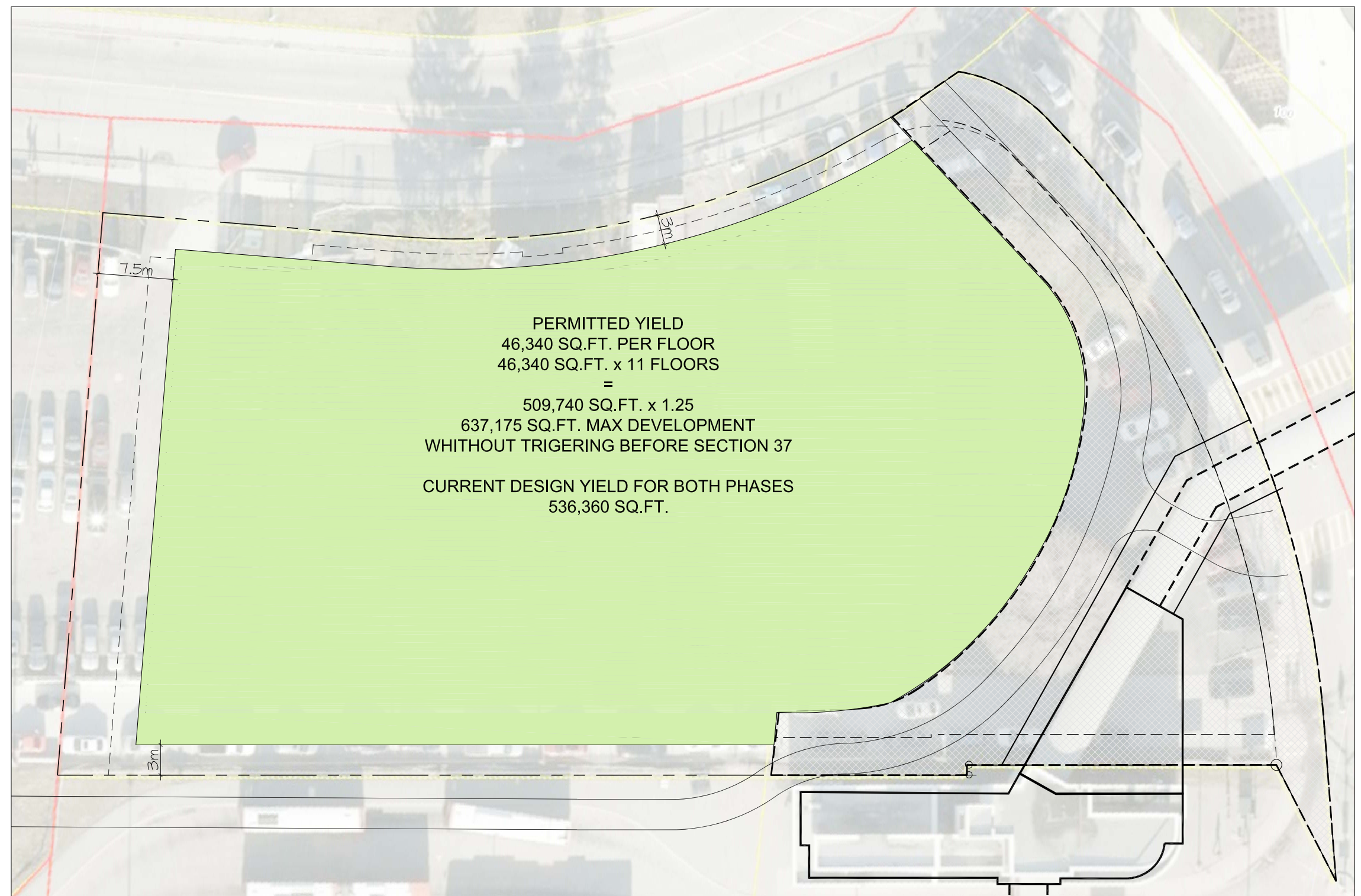
3. BICYCLE PARKING

3.1 REQUIRED BICYCLE PARKING SPACES
RESIDENTIAL (0.5 SPACE/UNIT - 117 SPACES REQUIRED)
3.2 PROVIDED BICYCLE PARKING: 135
P1 level 41 spaces
Ground 74 spaces + 15 exterior spaces

4. AMENITY SPACE REQUIREMENTS

REQUIRED AMENITY SPACE: 6 m² REQUIRED PER UNIT
234 UNITS X 6 SQ.M. = 1404 SQ.M. TOTAL AMENITY REQUIRED
REQUIRED AMENITY SPACE TO BE COMMON = 702 SQ.M.
PROVIDED COMMON AMENITY SPACE =

DIAGRAM OF PERMITTED ZONING ENVELOPE BASED ON CURRENT ZONING



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no.	date	revision
1	19.02.20	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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PROJECT/LOCATION:
100 BAYSHORE LOT "B"

WOODRIDGE CRESENT

DRAWING TITLE:
SITE PLAN

DRAWN BY:

DATE:

18.12.20

SCALE:

1:200

PROJECT:

1837

DRAWING NO.:

A1.00

REVISION NO.:

3049

REVISION NO.: